

**CLARKE COUNTY PLANNING COMMISSION
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April 6, 2018 Business Meeting**

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Clarke County Planning Commission

AGENDA – Business Meeting

Friday, April 6, 2018 – 9:00AM

Berryville/Clarke County Government Center – Main Meeting Room

1. Approval of Agenda
2. Approval of Minutes
 - a. February 27, 2018 Work Session
 - b. March 2, 2018 Business Meeting

Continued Public Hearing – Major Subdivision

3. **S-17-01, Peter O. & Melanie M. Hitchen.** Request approval of a five-lot major subdivision for the property identified as Tax Map #30-A-65, located in the 4000 block of John Mosby Highway, White Post Election District zoned Agricultural Open-Space Conservation (AOC).

Minor Subdivision

4. **MS-18-02, Amelia D. Pearson Bailey, Trustee; Helen M. Pierson; Estate of F. Stanley Pierson.** Request approval of a two lot Minor Subdivision for the property identified as Tax Map #25-A-27A, located in the 300 block of Saw Mill Hill Road in the Millwood Election District, zoned Forestal-Open Space-Conservation (FOC).

Board/Committee Reports

5. Board of Supervisors (Mary Daniel)
6. Board of Septic & Well Appeals (George Ohrstrom, II)
7. Board of Zoning Appeals (Anne Caldwell)
8. Historic Preservation Commission (Doug Kruhm)
9. Conservation Easement Authority (George Ohrstrom, II)
10. Broadband Implementation Committee (Mary Daniel)

Other Business

Adjourn

UPCOMING MEETINGS

Comprehensive Plan Committee – Friday, April 6 (9:30AM or following Planning Commission Business meeting)
Ordinances Committee – Wednesday, April 11, 2018 (2:00PM)
Ordinances Committee – Wednesday, April 25, 2018 (2:00PM)
May Work Session – Tuesday, May 1, 2018 (3:00PM)
April Business Meeting -- Friday, May 4, 2018 (9:00AM)

Clarke County



**PLANNING COMMISSION
WORK SESSION MINUTES -- DRAFT
TUESDAY, FEBRUARY 27, 2018**

A work session of the Planning Commission of Clarke County, Virginia, was held at the Berryville/Clarke County Government Center, Berryville, Virginia, on Tuesday, February 27, 2018.

ATTENDANCE

Present: Robina Bouffault; Randy Buckley (Vice-Chair); Anne Caldwell; Mary Daniel (arrived late); Bob Glover; Scott Kreider; Douglas Kruhm; Frank Lee; Gwendolyn Malone, Cliff Nelson; and George L. Ohrstrom, II (Chair).

Absent: None

Staff Present: Brandon Stidham, Planning Director; Ryan Fincham, Senior Planner/Zoning Administrator

CALLED TO ORDER

Mr. Stidham called the meeting to order at 3:02PM.

AGENDA

The members approved the agenda by consensus as presented.

REVIEW OF AGENDA ITEMS FOR MARCH 2, 2018 BUSINESS MEETING

Mr. Stidham said that the Commission will be presenting the Resolution of Appreciation to Jon Turkel at the beginning of the March 2 meeting and that Mr. Turkel will be in attendance.

Mr. Fincham provided an update on the Hitchen major subdivision application (S-17-01). He said that the applicant indicated that they will adjust their plans to comply with the County's private access easement slope requirement and he is expecting to receive revised plans shortly. He reviewed correspondence with Bobby Boyce (Virginia Department of Transportation -- VDOT) consisting of questions that the Commission members had at last month's meeting. He also informed the Commission that the Virginia Department of Environmental Quality (DEQ) responded to the applicant's stormwater and erosion control plans with a five-page comment letter. Mr. Kreider asked if the letter provided any information on the conservation easement requirement. Mr. Stidham replied that DEQ noted that the easement area has to be fully delineated on the plans. Mr. Fincham noted that the property owner is currently conducting some logging on the property and that it is being done in accordance with an approved forestry management plan. Mr. Fincham added that he did not know how long it will take for DEQ's concerns to be resolved and he noted that the applicant has requested a one month deferral to April. Mr. Stidham suggested that in addition to accepting the

applicant's deferral request and continuing the public hearing at the meeting on Friday, the Commission should also authorize Staff to accept any subsequent requests for deferral by the applicant so that the request can be kept off of future agendas until the application is ready for final consideration. Mr. Kruhm asked if the DEQ letter can be distributed to the members and Mr. Fincham replied that he will email it out to the Commission after the meeting.

Mr. Fincham reviewed the Stuart Properties LLC minor subdivision application and maximum lot size exception request (MS-18-01/MLSE-18-01). Chair Ohrstrom noted that this property is in conservation easement with the Clarke County Easement Authority and asked if the minor subdivision is in accord with the easement agreement. Mr. Fincham replied that Alison Teetor reviewed the application and confirmed that it is consistent with the easement agreement. Mr. Fincham reviewed VDOT's comments and Ms. Caldwell noted that they are recommending provision of land for public road right-of-way which the Commission typically ignores. Mr. Fincham replied that Staff is not making any recommendations on that VDOT comment. Mr. Fincham also stated that there is a question as to whether the existing house is on a private well or County water. He noted that Mike Legge (Clarke County Sanitary Authority) indicated that while this property has the ability to connect to the water system, it is not currently being served by public water. Mr. Fincham said that he has asked the surveyor to resolve this issue. Mr. Lee asked why they are listed "treatment level 3" on the proposed septic system. Mr. Fincham replied that he did not know but would ask the applicant's agent. He added that typically on a large parcel such as this you should be able to find suitable soils for a conventional septic system. Ms. Bouffault asked if it is possible that the existing house could be receiving public water without a meter or making payments. Mr. Fincham replied that it is possible but it is also possible that there could be an old buried well on the property that is being used or that the house is sharing water from somewhere else.

Mr. Fincham reviewed the McDonald's Corporation request for a certificate of appropriateness. He noted that the proposed changes require an administrative site plan that can be approved by the Zoning Administrator but that the Planning Commission is the approval authority for the certificate of appropriateness. He explained that the applicant initially provided incorrect architectural renderings for review by Staff, the architectural historian, and the Plans Review Committee. He added that the applicant has since provided the correct information for review that incorporates changes requested by the architectural historian. He said that the majority of the comments have been addressed through this revision and reviewed the architectural historian's remaining comments including comments on the foundation appearance. He stated that the Plans Review Committee had recommended that the request be removed from the March 2 meeting agenda but that the applicant wants to remain on the agenda and has been working to comply with all outstanding comments. He added that the architectural historian's latest comments have been forwarded to the applicant and he is awaiting revisions. He asked if the applicant does provide revisions that appear to address all remaining issues, would the Plans Review Committee need to meet again before the Commission acts on the request. Mr. Stidham noted that there is a timing issue because the certificate of appropriateness is required in order to approve the site plan. Staff has 60 days to act on the site plan and if the Commission defers the certificate of appropriateness to the April 6 meeting, that will be beyond the 60 day review period. Ms. Caldwell said that if the architectural historian provides a written statement confirming the applicant's compliance with all requirements by the Friday meeting, the Commission would be able to approve it but she was not sure whether there is enough time to

complete the work and review the revisions. Ms. Bouffault said that her main concern is that the use of brick in the foundation would be ugly and would not be consistent with the architecture in this area. Mr. Fincham added that it is up to the applicant to comply with all of the requirements so that the Commission will be in a position to approve the request on Friday.

OLD BUSINESS ITEMS

Progress Report, Ordinance Update Project

Mr. Stidham briefly reviewed the progress report on the Ordinance Update Project and noted that they are currently on schedule.

NEW BUSINESS ITEMS

None

OTHER BUSINESS

Mr. Stidham noted that the Comprehensive Plan Committee will meet on Friday after the Business Meeting to review drafts of the Historic Resources and Water Resources Plans.

The meeting was adjourned by consensus at 3:38PM.

George L. Ohrstrom, II (Chair)

Brandon Stidham, Planning Director

Clarke County



PLANNING COMMISSION BUSINESS MEETING MINUTES - DRAFT FRIDAY, MARCH 2, 2018

A regular meeting of the Planning Commission of Clarke County, Virginia, was held at the Berryville/Clarke County Government Center, Berryville, Virginia, on Friday, March 2, 2018.

ATTENDANCE

Present: George L. Ohrstrom, II, Chair; Robina Bouffault; Randy Buckley; Bob Glover; Doug Kruhm, Mary Daniel; Scott Kreider; Frank Lee; Gwendolyn Malone; and Cliff Nelson.

Absent: Anne Caldwell

Staff Present: Brandon Stidham, Planning Director; Ryan Fincham, Senior Planner/Zoning Administrator; and Debbie Bean, Recording Secretary.

CALLED TO ORDER

Chair Ohrstrom called the meeting to order at 9:00 a.m.

APPROVAL OF AGENDA

The Commission voted to approve the agenda as presented.

Yes: Bouffault, Buckley, Daniel, Glover, Kreider, Kruhm (seconded), Lee, Malone, Nelson (moved) and Ohrstrom

No: No one

Absent: Caldwell

APPROVAL OF MINUTES

The Commission voted to approve the work session meeting minutes of January 30, 2018.

Yes: Bouffault (moved), Buckley, Daniel, Glover, Kreider, Kruhm, Lee, Malone (seconded), Nelson and Ohrstrom

No: No one

Absent: Caldwell

The Commission voted to approve the business meeting minutes of February 2, 2018.

Yes: Bouffault (moved), Buckley, Daniel, Glover, Kreider (seconded), Kruhm, Lee, Malone, Nelson and Ohrstrom

No: No one

Absent: Caldwell

Resolution of Appreciation – Jon Turkel

The Commission invited former Commissioner Jon Turkel to the meeting today. Chair Ohrstrom read a resolution of appreciation to Mr. Turkel and presented him with the framed document. He thanked Mr. Turkel for his years of service on the Planning Commission.

Continued Public Hearing - Major Subdivision Application

S-17-01 - Major Subdivision

Peter O. and Melanie M. Hitchen request approval of a five-lot major subdivision for the property identified as Tax Map #30-A-65, located in the 4000 block of John Mosby Highway, White Post Election District zoned Agricultural Open-Space Conservation (AOC).

There being no comments, Chair Ohstrom asked Mr. Fincham what the recommendation is for this request. Mr. Fincham stated that Staff recommends accepting the applicants' request for a one month deferral. He said that Staff also recommends that the Commission authorize Staff to accept any future deferral request from the applicant if any review items remain outstanding.

The Commission voted to continue the public hearing and defer action on this request for one month, and the Commission authorizes Staff to accept any future deferral requests from the applicant if any review items remain outstanding.

Yes: Bouffault, Buckley (seconded), Daniel, Glover, Kreider, Kruhm (moved), Lee, Malone, Nelson, and Ohrstrom

No: No one

Absent: Caldwell

Minor Subdivision

MS-18-01/MLSE-18-01, Stuart Properties LLC.

Request approval of a two lot Minor Subdivision and Maximum Lot Size Exception for the property identified as Tax Map #28-A-44, located at 26 Carters Line Rd across from 862 White Post Road in the White Post Election District zoned Agricultural Open-Space Conservation (AOC).

Mr. Fincham stated this is a 2 lot subdivision with 56.0074 acres. He said that the applicant is utilizing the property's one allowable maximum lot size exception for the existing pre-1980 house at 26 Carters Line Road. He stated that VDOT has reviewed the request and has no objection to the proposed subdivision. He said that both lots have been field reviewed by the Virginia Health Department (VDH). He stated that VDH is prepared to sign the final plats. He stated that Staff will work with the VDH and the Clarke County Sanitation Authority in determining the existing and proposed water supply for Lot 1. He said that the resistivity tests have been reviewed and approved by County consultant Dam Rom for the proposed septic areas. He stated that the subject property is held by the Clarke County Easement Authority for open space easement as noted in plat note #8 and the plats will be amended to include an approval block for that entity.

The Commission voted to approve this request.

Yes: Bouffault (seconded), Buckley, Daniel, Glover, Kreider (moved), Kruhm, Lee, Malone, Nelson, and Ohrstrom

No: No one

Absent: Caldwell

Certificate of Appropriateness

CA-18-01, Core States Group (McDonald's Corporation).

Request approval for a Certificate of Appropriateness to alter the existing McDonald's structure by renovating the façade located at 8152 John Mosby Highway identified as Tax Map 29-A-2A, zoned Historic Access Corridor Overlay District (HC) and Highway Commercial (CH).

Mr. Fincham stated that the applicant is requesting approval for a Certificate of Appropriateness to alter the existing McDonald's structure located at 8152 John Mosby Highway by renovating the facade. He said that the applicant filed an application to amend the site development plan for this project. He stated that the scope of the project warrants the site development plan being reviewed administratively by the Zoning Administrator. He stated that the project is located in the Historic Access Corridor Overlay District and a Certificate of Appropriateness must be reviewed and approved for the proposed changes to the building facade and signage as a condition of approval of the site plan amendment. He said that the Planning Commission is the review authority for all Certificates of Appropriateness in the Historic Access Corridor Overlay District. He stated that the request was routed to Maral Kalbian, Clarke County's consulting Architectural Historian, for review. He said that Ms. Kalbian's comments were received on February 15, 2018 and sent to the applicant via email the same day. He stated that the applicant's agent forwarded the comments to their design team and expect to submit a revised plan soon. He said that the Planning Commission Plans Review Committee held a meeting on February 21, 2018 to review the request with Staff and Ms. Kalbian. He said that the Committee offered comments and suggestions which were passed on to the applicant's agent. He stated that the agent noted that if revisions and reviews were not satisfied in a timely manner, then a request for deferral might be forthcoming. He said that after a few letters between Ms. Kalbian and the applicant all the revisions were made. He stated that Ms. Kalbian provided an approval letter based on the final revisions on February 28, 2018. He said that Staff will ensure that all approved changes are correctly depicted in the site plan and other documents prior to signing and allowing building permits to be issued.

Mr. Fincham stated that Jen Adams, Agent for McDonald's Corporation was present to answer any questions from the Commission. He said that several Commissioners questioned whether the subject McDonald's will be closed during renovation. Ms. Adams stated that the McDonald's will remain open during the renovation. After discussion with Staff and the Commission, Chair Ohrstrom called for a motion.

The Commission voted to approve this request.

Yes: Bouffault (moved), Buckley, Daniel, Glover, Kreider, Kruhm, Lee, Malone (seconded), Nelson, and Ohrstrom

No: No one

Absent: Caldwell

Board/Committee Reports

Board of Supervisors (Mary Daniel)

Commissioner Daniel stated that currently the budget is the main topic. She said Monday evening the School Board will present their official budget request to the Board of Supervisors (BOS). She stated that the Blue Ridge Area Food Bank gave an excellent presentation to the BOS discussing the 1200 food and secure residents of Clarke County. She stated that the BOS did a three year approval of the River and Roots Festival permits. She stated that the festival brings in approximately three thousand people every year.

Board of Septic & Well Appeals (George Ohrstrom, II)

Chair Ohrstrom stated that the next meeting is scheduled for March 9, 2018 at 10:00 a.m. for a well ordinance variance.

Board of Zoning Appeals (Anne Caldwell)

No report.

Historic Preservation Commission (Doug Kruhm)

Commissioner Kruhm stated that the next meeting is scheduled for March 21 at 4:00 p.m.

Conservation Easement Authority (George Ohrstrom, II)

Chair Ohrstrom stated that we are going to sign off on the plat request that was recently approved. He said we are currently looking at a few other easements.

On motion by Commissioner Daniel and seconded by Commissioner Kreider the meeting was adjourned at 9:24 a.m.

George L. Ohrstrom, II, Chair

Brandon Stidham, Director of Planning

Minutes prepared by Debbie Bean, Recording Secretary

MAJOR SUBDIVISION (S-17-01)

Coquette Estates Subdivision

Peter O. and Melanie M. Hitchen (Owners)

April 6, 2018 Planning Commission Meeting

SUPPLEMENTARY STAFF REPORT #4 -- Department of Planning

The purpose of this staff report is to provide information to the Planning Commission to assist them in reviewing this proposed major subdivision. It may be useful to members of the general public interested in this proposed subdivision.

Case Summary

Applicant(s):

Peter and Melanie Hitchen

Location:

- Subject property is located in the 4000 block of John Mosby Highway
- Tax Map Parcel #30-A-65
- White Post Election District (Bouffault and Buckley)

Zoning District

Agricultural-Open Space-Conservation (AOC)

Request:

Approval of a five-lot Major Subdivision for the property identified as Tax Map #30-A-65 located in the 4000 block of John Mosby Highway in the White Post Election District zoned Agricultural Open-Space Conservation (AOC).

Case Update:

The Public Hearing was continued and the request was deferred at the March 2, 2018 Commission meeting pending unfinished reviews of several items. Mike Artz (Engineer) provided revised technical plans for the entrance and road construction as well as erosion and sediment control on March 27, 2018. The revised plans were emailed to Hurt & Proffitt and VDOT the same day, and paper copies were mailed the following day. Staff awaits comments or approvals of the plan.

Access:

The revised plan appears to meet the road design slope requirements in §8-J-2 of the Subdivision Ordinance as well as needed entrance changes for VDOT. A bond estimate for the road construction is also needed. *Staff awaits comments or approvals of the revised plans from VDOT (for entrance) and Hurt & Proffitt (for subdivision road).*

Erosion and Sediment Control:

The revised erosion and sediment control plan appears to address all of the previous review comments. The E&S review checklist and E&S bond estimates are still needed prior to plan approval. *Staff awaits comments or approvals of the revised plan from Hurt & Proffitt.*

Stormwater Management:

The applicant is working directly with DEQ. *Staff awaits DEQ comments or approval.*

Recommendation:

Staff recommends continuing the advertised public hearing and deferring action on the request until the May 4, 2018 Commission meeting.

History:

November 3, 2017	Complete Application filed with the Department of Planning.
November 28, 2017	Plans Review Committee met and reviewed the plat.
December 1, 2017	The Planning Commission voted unanimously to defer action on the Major Subdivision request (per applicant's request) and continue the public hearing for one month to the January 5, 2018 meeting.
January 3, 2018	The Planning Commission voted unanimously to defer action on the Major Subdivision request (per applicant's request) and continue the public hearing for one month to the February 2, 2018 meeting.
February 2, 2018	The Planning Commission voted unanimously to defer action on the Major Subdivision request (per applicant's request) and continue the public hearing for one month to the March 2, 2018 meeting.
March 2, 2018	The Planning Commission voted unanimously to defer action on the Major Subdivision request (per applicant's request) and continue the public hearing for one month to the April 6, 2018 meeting.
April 6, 2018	Placed on the Commission's meeting agenda for continued advertised public hearing.

March 27, 2018

Mr. Bobby Boyce
VDOT Land Development Engineer
14031 Old Valley Pike
Edinburg, VA 22824

**RE: Coquette Estates
Road Construction Plan**

Dear Bobby,

We have received your comments dated January 24, 2018 and have revised the plans accordingly. Our specific responses are as follows:

1. Comment: Show any adjacent and opposite side of roadway entrances. Provide distances to next adjacent entrance and nearest State highway intersections in each direction.
Response: Distances to nearest intersections and crossovers have been added to Sheet CS1001
2. Comment: Identify required and available* unobstructed stopping sight distance and intersection sight distance and line of sight profiles at all entrance(s). (*show the maximum available sight distance and not minimum required.) Provide sight distance easements where line of sight leaves right-of-way.
Response: Intersection sight distance shown in plan and profile on Sheet CS1001. Intersection and stopping sight distances exceed the minimum of 610 feet. No easements are necessary.
3. Comment: Specify VDOT entrance Standard CG-11.
Response: CG-11 entrance specified and detail added to Sheet CS1001
4. Comment: Provide entrance profile from center line of roadway with grading in accordance with the specified proposed VDOT standard entrance type. Slope the entrance away from Route 17/50 for 12' width to accommodate future taper or turn lane, normal shoulder and positive drainage. Adjust grade going into site to accommodate.
Response: Provided as requested. See Sheet CS1001.
5. Comment: Provide typical section of entrance(s) and turn lanes including dimensions, cross slopes and pavement design. Match US Route 17/50 pavement to the right-of-way line. Below is the constructed pavement thickness from the typical section.
Response: Provided as requested. See Sheet CS1001.
6. Comment: VDOT Standard WP-2 Pavement Widening Detail to be included on all plans. Show in plan view limits of mill and overlay per WP-2 Detail.
Response: Detail added to Sheet CS1001. Limits of mill and overlay shown in plan on Sheet CS1001.

7. Comment: Drainage – show pipe sizes, lengths and material types (existing and proposed). Provide drainage computations in accordance with VDOT Drainage Manual. Provide proposed culvert/storm sewer profile. Show directional flow arrows of proposed and existing drainage to culverts, entrance(s) and adjoining State highways. Culvert extension will need to be on the same line and grade as existing culvert.

Response: Existing culvert to be removed and replaced as shown on plan. Drainage information is shown on Sheet CS1001 as requested.

8. Comment: Show 4' shoulders on entrance radii and include adequate pipe length to obtain 4:1 slope from edge of shoulder to end of culvert. Maintain shoulder width and slope on US Route 17/50 per geometric design standards for this facility.

Response: Provided as requested. See Sheet CS1001.

9. Comment: Make both sides of entrance radii 50'.

Response: Provided as requested.

10. Comment: Provide current details with plan set of all VDOT Standards called for in design.

Response: Provided on Sheet CS1001 and Sheet CS8001.

11. Comment: Provide signage, pavement markings, and cluster mailbox location on plan off VDOT right-of-way.

Response: No signage, pavement markings or cluster mailbox is proposed.

12. Comment: Provide current VDOT General Notes on plan cover sheet.

Response: Provided on Sheet CS0001.

Enclosed are 2 sets of revised plans and a CD with digital version of plans. Please let me know if you have any questions.

Sincerely,

PENNONI ASSOCIATES INC.



Mike Artz, LS-3B

March 27, 2018

Mr. Ryan Fincham
Senior Planning & Zoning Administrator
County of Clarke
101 Chalmers Court, Suite B
Berryville, VA 22611

RE: Coquette Estates Road Construction Plan Subdivision Street Plan Review

Dear Ryan,

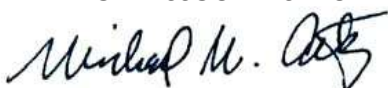
Please find below our response to the 2nd submission comments dated January 22, 2018 from Mark Cline of Hurt & Proffitt, Inc. on the above referenced plan.

1. No further comment
2. No further comment
3. The existing road (noted to be widened) now shows a maximum grade of 10%, which is still in excess of allowable grade per County Ordinance Section 8-J-2-c-4. VDOT may also have comments regarding the slopes of the entrance and the portion of the road in the right-of-way area.
Response: The road has been redesigned to provide a maximum grade of 8%. VDOT has commented on the entrance and those comments have also been addressed.
4. Repeat comment. The designer should include the provided stopping and intersection sight distances per 8-J-2-c 5 (for the new section of road). VDOT will require sight distance confirmation at the proposed low volume commercial entrance.
Response: Stopping sight distances meet the minimum requirements in the Ordinance. K values have been added to the Crest vertical curves. K values greater than 2 meet the minimum stopping distance of 65 feet. The proposed entrance meets the minimum sight distance requirement of 610 feet. A profile has been added for verification.
5. No further comment
6. No further comment
7. No further comment
8. No further comment

Enclosed are 2 sets of revised plans. I trust the above responses and revisions to the plans address all of these comments and concerns. Should you have any further questions, please do not hesitate to contact me.

Sincerely,

PENNONI ASSOCIATES INC.



Mike Artz, LS-3B

March 27, 2018

Mr. Ryan Fincham
Senior Planning & Zoning Administrator
County of Clarke
101 Chalmers Court, Suite B
Berryville, VA 22611

RE: Coquette Estates Road Construction Plan

Dear Ryan,

Please find below our response to the 2nd submission comments dated January 22, 2018 from Mark Cline of Hurt & Proffitt, Inc. on the above referenced plan.

Erosion & Sediment Control Comments

1. Comment: Addition of the drainage map on Sheet CS0001 is acknowledged. Please provide a title for the map and indicate the map scale.

Response: The map now has a title and scale.

2. No further comments

3. Comment: Repeat comment. Applicant has indicated that the 0.35 weighted c-value is conservative for the amount of impervious that will be constructed in the drainage areas. Please provide an estimate of the impervious additions (and the associated weighted c-value calculations) in order to verify this. Without the amount of impervious area shown or accounted for, there is no way to verify is 0.35 is in fact conservative.

Response: Weight C calculations are now provided. Structure designs have been revised to reflect these values.

4. No further comment

5. No further comment

6. No further comment

7. No further comment

8. No further comment

9. No further comment

10. Comment: Coordinate revised construction entrance location with VDOT review. Location is satisfactory for ESC Review purposes.

Response: No action.

11. Comment: The revised limits of disturbance now exceed 1-acre, and are subject to stormwater management provisions, including permitting, SWPPP preparation and stormwater quality and quantity management. This is beyond the purview of the ESC Review, but this comment is included for the County's knowledge.

Response: No action.

12. Comment: Topsoiling (TO) is not included on the plan or in the legend

Response: Topsoiling has been added to the plan and the legend.

13. Comment: EC-3 matting is shown on Sheet CS8003 in the north side ditchline from Station 0+40 to Station 2+00. We are uncertain if this is a special design for the EC-3, since Note 4 on Plan Sheet CS1000 indicates that EC-3 is required in all ditches exceeding 4% slope. If EC-3 is to be called out graphically, it should be called out in all required locations.

Response: Note 4 on Plan Sheet CS1000 has been removed.

14. Comment: The applicant suggests that the stockpile(s) will not have an impact on the disturbed area acreage numbers. This statement is only true if the stockpiles are to remain within the limits of disturbance shown on the plans. Since a SWPPP will now be required (disturbance in excess of 1-acre), the locations of stockpiles can be documented in the SWPPP document. If the stockpile locations cause any extra disturbance, this will also need to be accounted for in the SWPPP document.

Response: No action.

Sheet CS8002 – Erosion and Sediment Control Narrative & Details

No further comments

Additional Comment: As noted on the first submittal, no plan reviewer checklists or Erosion & Sediment Control Bond estimates were included with the submitted information. This information is needed prior to plan approval.

Response: To be provided separately.

Enclosed are 2 sets of revised plans

I trust the above responses and revisions to the plans address all of these comments and concerns. Should you have any further questions, please do not hesitate to contact me.

Sincerely,

PENNONI ASSOCIATES INC.



Mike Artz, LS-3B

COQUETTE ESTATES

ROAD CONSTRUCTION PLAN

CLARKE COUNTY, VIRGINIA

2017-11-02

REVISED SUBMISSION DATE

PREPARED FOR:

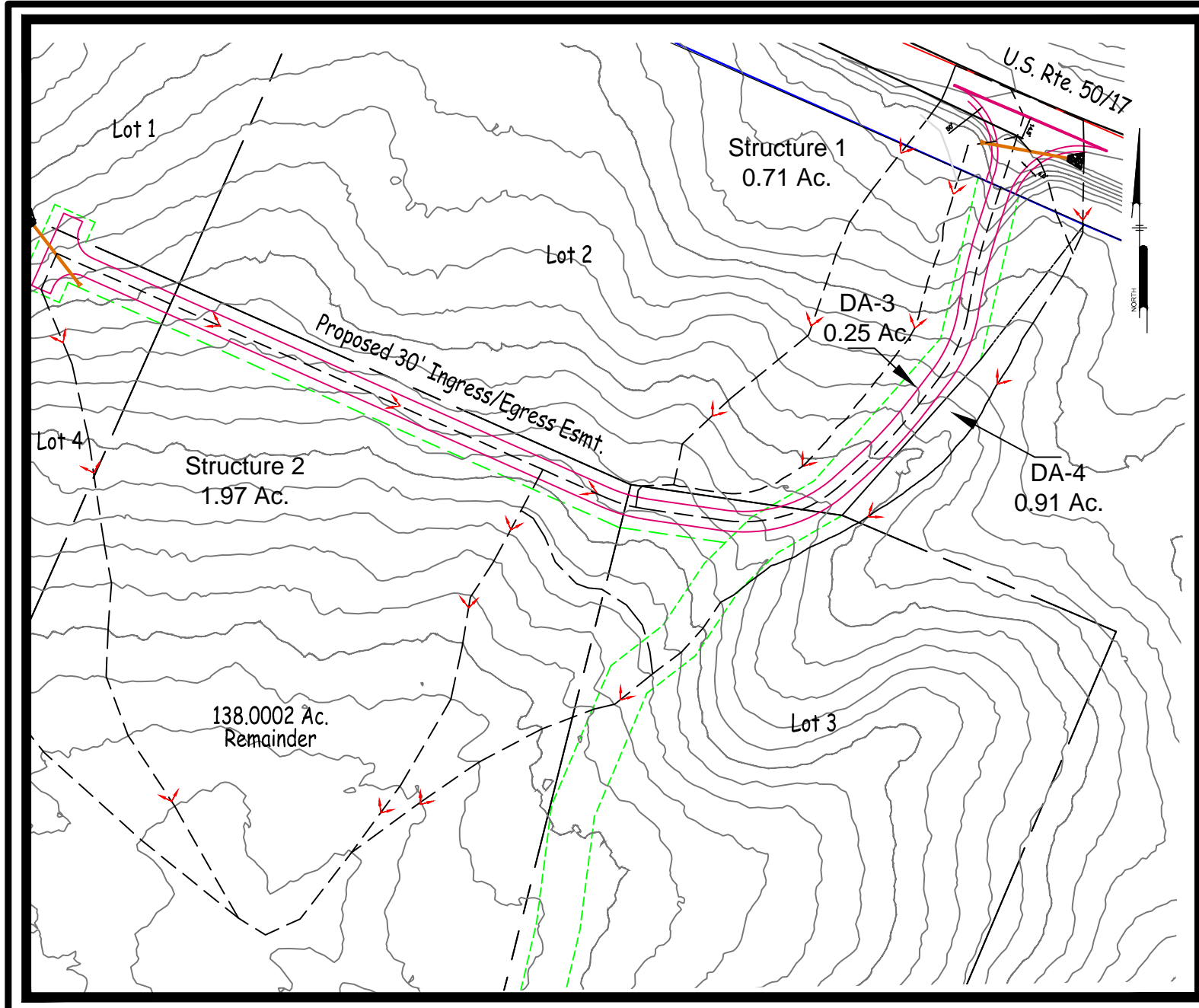
OWNER/DEVELOPER

PETER & MELANIE HITCHEN

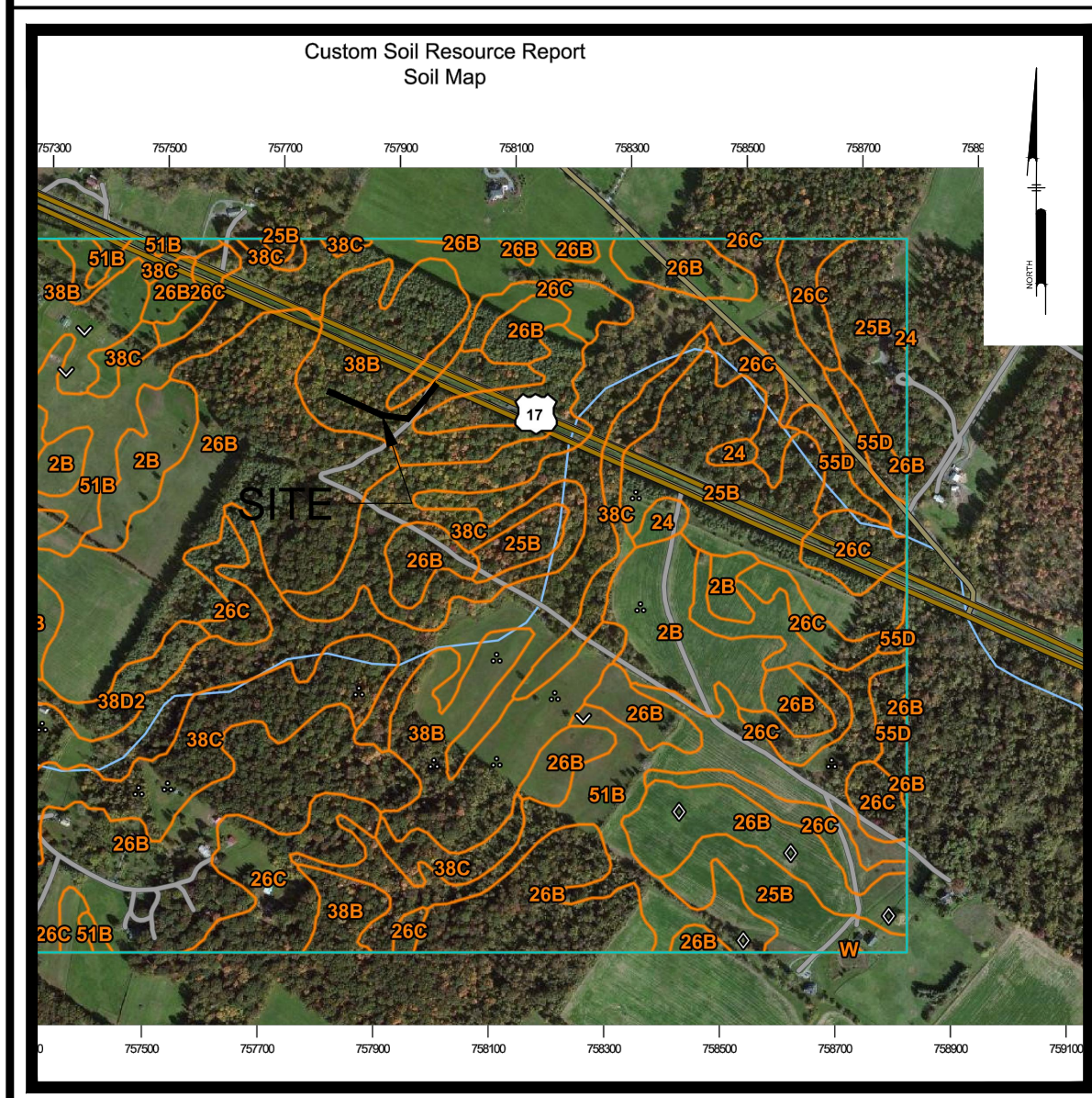
397 LOCKES MILL ROAD

BERRYVILLE, VA 22611

703-727-1910



DRAINAGE AREA MAP 1"=1000'



Soil Description:
 26B - Monongahela-Braddock complex, 3 to 8 percent slopes
 38B - Poplimento-Webbtown complex, 3 to 8 percent slopes
 38C - Poplimento-Webbtown complex, 8 to 15 percent slopes

SOILS MAP

Scale: 1" = 1000'

VIRGINIA DEPARTMENT OF TRANSPORTATION STAUNTON DISTRICT REV. JUNE 19, 2013
 VDOT GENERAL NOTES

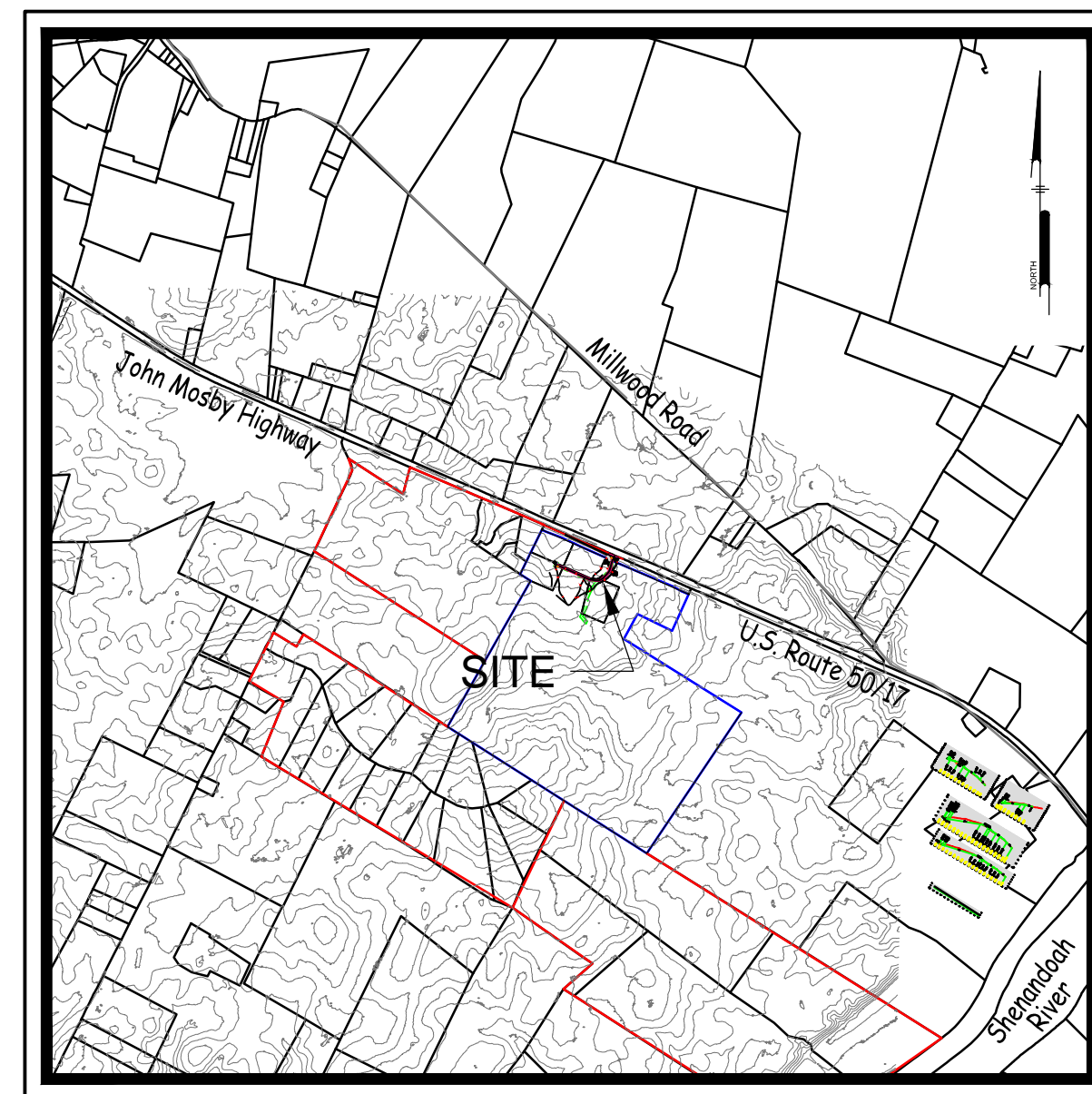
- V1. ALL WORK ON THIS PROJECT SHALL CONFORM TO THE CURRENT EDITIONS OF AND LATEST REVISIONS TO THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) ROAD AND BRIDGE SPECIFICATIONS AND STANDARDS, THE VIRGINIA EROSION AND SEDIMENT CONTROL REGULATIONS, AND ANY OTHER APPLICABLE STATE, FEDERAL OR LOCAL REGULATIONS. IN CASE OF A DISCREPANCY OR CONFLICT BETWEEN THE STANDARDS OR SPECIFICATIONS AND REGULATIONS, THE MOST STRINGENT SHALL GOVERN.
- V2. ALL CONSTRUCTION SHALL COMPLY WITH THE LATEST U.S. DEPARTMENT OF LABOR, OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), AND VIRGINIA OCCUPATIONAL SAFETY & HEALTH (VOSH) RULES AND REGULATIONS.
- V3. WHEN WORKING WITHIN VDOT RIGHT-OF-WAY, ALL TRAFFIC CONTROL, WHETHER PERMANENT OR TEMPORARY, SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF VDOT'S WORK AREA PROTECTION MANUAL. A TRANSPORTATION MANAGEMENT PLAN NEEDS TO BE SUBMITTED FOR APPROVAL AND LAND USE PERMIT ISSUED PRIOR TO ANY EXECUTION OF WORK WITHIN THE VDOT RIGHT OF WAY.
- V4. THE DEVELOPER SHALL BE RESPONSIBLE FOR RELOCATING, AT HIS EXPENSE, ANY AND ALL UTILITIES, INCLUDING TRAFFIC SIGNAL POLES, JUNCTION BOXES, CONTROLLERS, ETC., OWNED BY VDOT OR PRIVATE / PUBLIC UTILITY COMPANIES. IT IS THE SOLE RESPONSIBILITY OF THE DEVELOPER TO LOCATE AND IDENTIFY UTILITY FACILITIES OR ITEMS THAT MAY BE IN CONFLICT WITH THE PROPOSED CONSTRUCTION ACTIVITY. VDOT APPROVAL OF THESE PLANS DOES NOT INDEMNIFY THE DEVELOPER FROM THIS RESPONSIBILITY.
- V5. DESIGN FEATURES RELATING TO FIELD CONSTRUCTION, REGULATIONS, AND CONTROL OR SAFETY OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY VDOT. ANY ADDITIONAL EXPENSE INCURRED AS A RESULT OF ANY FIELD REVISION SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- V6. IF REQUIRED BY THE LOCAL VDOT LAND DEVELOPMENT OFFICE, A PRE-CONSTRUCTION CONFERENCE SHALL BE ARRANGED AND HELD BY THE ENGINEER AND/OR DEVELOPER WITH THE ATTENDANCE OF THE CONTRACTOR (S), VARIOUS COUNTY AGENCIES, UTILITY COMPANIES AND VDOT PRIOR TO INITIATION OF WORK.
- V7. THE CONTRACTOR SHALL NOTIFY THE LOCAL VDOT LAND DEVELOPMENT OFFICE WHEN WORK IS TO BEGIN OR CEASE FOR ANY UNDETERMINED LENGTH OF TIME. VDOT REQUIRES AND SHALL RECEIVE 48 HOURS ADVANCE NOTICE PRIOR TO ANY REQUIRED OR REQUESTED INSPECTION.
- V8. THE CONTRACTOR SHALL NOTIFY THE TRAFFIC OPERATIONS CENTER AT (540) 332-9500 FOR ANY TRAFFIC CONTROL PLAN THAT IMPACTS A VDOT MAINTAINED INTERSTATE OR PRIMARY ROADWAY TO PROVIDE NOTIFICATION OF THE INSTALLATION AND REMOVAL OF THE WORK ZONE.
- V9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A VDOT PERMITTED TEMPORARY CONSTRUCTION ENTRANCE(S) IN ACCORDANCE WITH SECTION 3.02 OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK. FURTHERMORE, ACCESS TO OTHER PROPERTIES AFFECTED BY THIS PROJECT SHALL BE MAINTAINED THROUGH CONSTRUCTION.
- V10. CONTRACTOR SHALL ENSURE ADEQUATE DRAINAGE IS ACHIEVED AND MAINTAINED ON THE SITE DURING AND AT THE END OF CONSTRUCTION.
- V11. ALL WATER AND SEWER LINES WITHIN EXISTING OR PROPOSED VDOT RIGHT-OF-WAY SHALL HAVE A MINIMUM THIRTY-SIX (36) INCHES COVER AND WHEN POSSIBLE SHALL BE INSTALLED UNDER ROADWAY DRAINAGE FACILITIES AT CONFLICT POINTS.
- V12. ANY UNUSUAL SUBSURFACE CONDITIONS (E.G., UNSUITABLE SOILS, SPRINGS, SINKHOLES, VOIDS, CAVES, ETC.) ENCOUNTERED DURING THE COURSE OF CONSTRUCTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER AND VDOT. WORK SHALL CEASE IN THAT VICINITY UNTIL AN ADEQUATE DESIGN CAN BE DETERMINED BY THE ENGINEER AND APPROVED BY VDOT.
- V13. ALL FILL AREAS, BORROW MATERIAL AND UNDERCUT AREAS SHALL BE INSPECTED AND APPROVED BY A VDOT REPRESENTATIVE PRIOR TO PLACEMENT OF FILL. A VDOT REPRESENTATIVE SHALL BE PRESENT TO INSURE THE SOIL SAMPLE(S) OBTAINED FOR CBR'S IS REPRESENTATIVE OF THE LOCATION. WHEN SOIL SAMPLES ARE SUBMITTED TO PRIVATE LABORATORIES FOR TESTING, THE SAMPLES SHALL BE CLEARLY IDENTIFIED AND LABELED AS BELONGING TO A PROJECT TO BE ACCEPTED BY VDOT AND THAT TESTING SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE VDOT STANDARDS AND PROCEDURES.

CONTACT NUMBERS

SURVEYING FIRM:
 MARSH & LEGGE LAND SURVEYORS, PLC
 (540) 667-0468

ZONING ENFORCEMENT:
 DEPARTMENT OF PLANNING (540) 955-5132

SITE INSPECTIONS AND EROSION AND SEDIMENT CONTROL:
 CLARKE COUNTY BUILDING DEPARTMENT
 (540) 955-5112



LOCATION MAP

Scale: 1" = 2000'

GENERAL NOTES (ALL MAY NOT APPLY)

- 1) All areas not built or paved upon shall be landscaped.
- 2) All dimensions shown on these plans are to the face of the building, face of curb or the edge of the pavement unless otherwise referenced.
- 3) Erosion and sediment control measures shall be maintained continuously, relocated when and as necessary and shall be checked after every rainfall. Seeded areas shall be checked regularly and shall be watered, fertilized, reseeded and mulched as necessary to obtain a dense stand of grass.
- 4) Any drain inlets shall be protected from siltation. Ineffective protection devices shall be replaced and the inlet cleaned. Flushing is not an acceptable means of cleaning.
- 5) The location of existing utilities as shown is approximate only. The contractor is responsible for locating all public or private utilities which lie in or adjacent to the construction site. The contractor shall be responsible for the repair, at his or her expense, of all existing utilities damaged during construction. Forty-eight hours prior to any excavation the contractor shall call MISS UTILITY at (800) 552-7001.
- 6) All materials used for fill or back fill shall be free of wood, roots, rocks, boulders or any other noncompactable soil type materials. Unsatisfactory materials also include manmade fills and refuse debris derived from any source.
- 7) Materials used to construct embankments for any purpose, back fill around drainage structures in utility trenches or any other depression requiring fill or back fill shall be compacted to 95% of maximum density as determined by the standard proctor test as set forth in ASTM Standard D-698. The contractor shall, prior to any operations involving fillings or back filling, submit the results of the proctor test together with a certification that the soil tested is representative of the materials to be used on the project. The tests shall be conducted by a certified materials testing laboratory and the certifications made by a licensed professional engineer representing the laboratory.
- 8) Embankment fill and back fill shall be placed in lifts at a maximum uncompacted depth of 8-inches and 6-inches, respectively.
- 9) All excavation, including trenches, shall be kept dry to protect the integrity of the subsoil.
- 10) Traffic control on public streets shall be in conformance with the Manual Of Uniform Traffic Control Devices and as further directed by the governing inspectors.
- 11) Any discrepancies found between the drawings and specifications and site conditions or any inconsistencies or ambiguities in drawings or specifications shall be immediately reported to the engineer, in writing, who shall promptly address such problems. Work done by the contractor after his or her discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the contractor's risk.
- 12) The owner shall provide the bond for and be the responsible party on the earth disturbing permit.
- 13) County inspectors have full authority to reject fill or back fill materials, require undercutting or sub-grade stabilization, require provisions for sub-drainage, or require other measures which affect the integrity of road and utility construction. Failure to comply with inspectors directives will be cause for non-acceptance of the facility.
- 14) Satisfactory materials for use as fill for public streets and parking lot include materials classified in ASTM D-2487 as GW, GP, GM, GC, SW, SP, SM, SC, ML, and CL groups. The moisture content shall be controlled within plus or minus 2% of the optimum to facilitate compaction. Generally, unsatisfactory materials include materials classified in ASTM D-2487 as PT, CH, MH, OL, OH and any soil too wet to facilitate compaction. CH and MH soils may be used subject to approval of the County Engineer. Soils shall have a minimum dry density of 92lb/cf per ASTM D-698 and shall have a plasticity index less than 17.
- 15) The requirement for the placement of CG-12s at site entrance is at the discretion of VDOT. Contractor is to coordinate with VDOT Inspector/Engineer to this regard.
- 16) Per the Clarke County Ordinance 8-J-2-c-2. b. (2) CBR tests shall be conducted at 300 foot intervals along the road centerline to verify the CBR value is at least 4. If the CBR test results in a value less than 4, the subgrade must be improved with "soil cement" or other means as recommended by an onsite geotechnical engineer.
- 17) Per the Clarke County Ordinance 8-J-2-c-15. Stormwater management features, including storm drain culverts, shall meet VDOT standards and State stormwater management regulations, if applicable. Construction shall be in compliance with the requirements of DEQ's Construction General Permit.
- 18) There are no visible sinkholes or perennial streams within 100 feet of the travel ways and drainage facilities.

Sheet List Table	
Sheet Number	Sheet Title
1	Cover Sheet
2	Plan & Profile Entrance Road
3	Plan & Profile
4	Erosion & Sediment Control Phases 1 & 2
5	Erosion & Sediment Control Phases 1 & 2
6	Erosion & Sediment Control Narrative & Details

PREPARED BY:
PENNONI ASSOCIATES INC.



117 East Piccadilly Street
 Winchester, VA 22601
 T 540.667.2139
 F 540.665.0493

RESPONSIBLE LAND DISTURBER

NAME: _____

CERTIFICATION #: _____

EXP. DATE _____

THE RESPONSIBLE LAND DISTURBER IS THAT PARTY RESPONSIBLE FOR CARRYING OUT THE LAND DISTURBING ACTIVITY AS SET FORTH IN THE PLANS.

CLARKE COUNTY APPROVAL

APPROVING AGENT

DATE

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

COQUETTE ESTATES
 JOHN MOSBY HIGHWAY
 GREENWAY DISTRICT, CLARKE COUNTY, VA

COVER SHEET

PETER & MELANIE HITCHEN
 397 LOCKES MILL ROAD
 BERRYVILLE, VA 22611

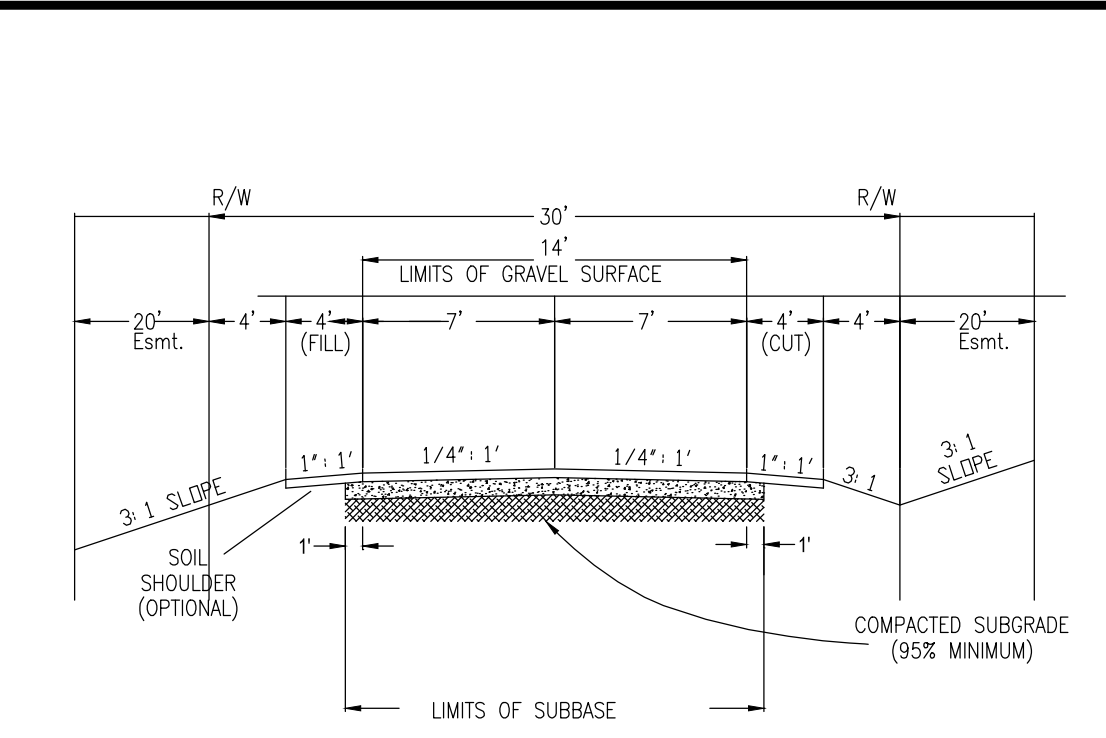
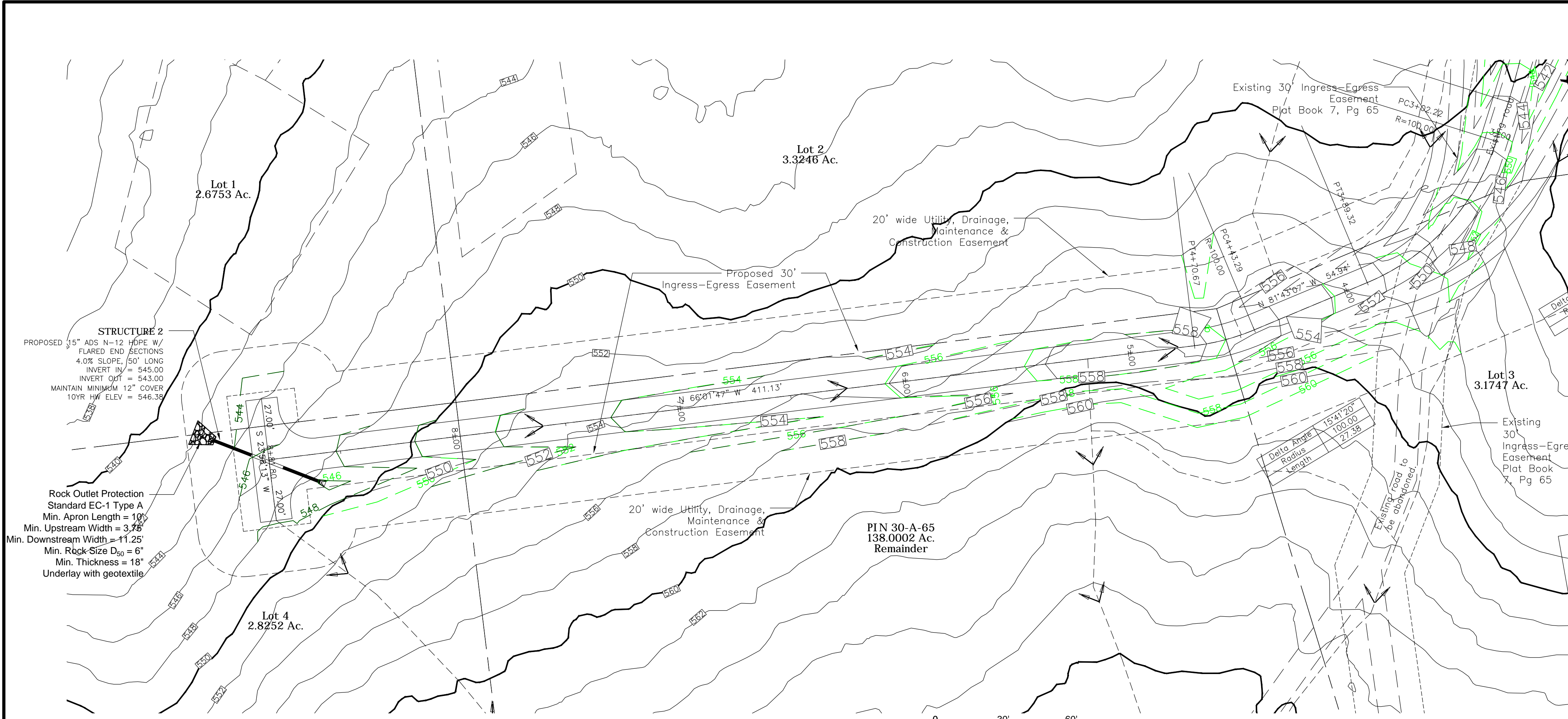
NO.	DATE	REVISIONS	BY
1	12-17-2017	ADDRESS LIST REVIEW COMMENTS	MMA

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PROJECT	HITCH17001
DATE	2017-11-02
DRAWING SCALE	AS NOTED
DRAWN BY	MMA
APPROVED BY	MMA

CS0001

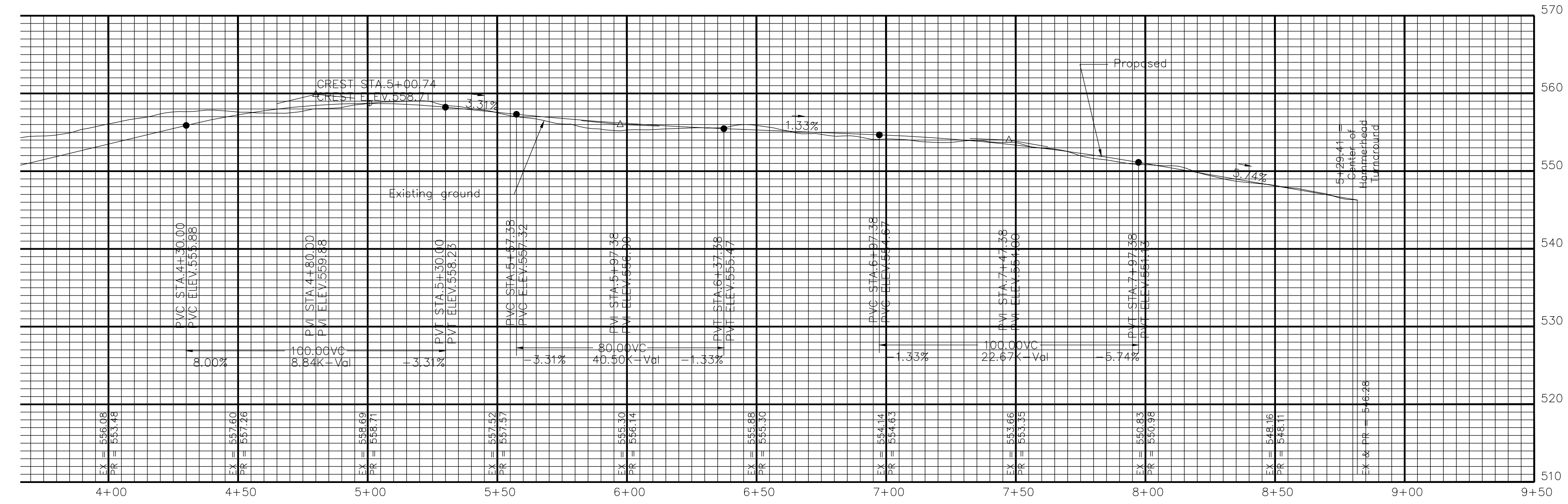
SHEET 1 OF 6



TYPICAL PRIVATE ROAD SECTION

- Notes:
- Boundary shown herein provided by Marsh & Legge Land Surveyors. Topography taken from Virginia Lidar. Two foot interval.
 - Properties shown herein are subject to easements and restrictions of record.
 - Underground utilities (if any) were not located.
 - Subject property is not located within a FEMA Special Flood Hazard Area.
 - Location of any stockpiles to be determined at pre-construction meeting. Stockpiles shall be surrounded by wire reinforced silt fence. Other E&S Measures may be required by the E&S Administrator. Stockpiles shall be temporarily seeded if dormant for more than 14 days.
 - Temporary Diversion Dikes are to remain in place until all areas are stabilized.
 - Contractor shall not encroach within 25 feet of any drainfield area without first contacting the engineer for a field inspection. In no case shall the contractor drive over or otherwise disturb and drainfield area. Contractor is responsible for any construction related damages that may occur including rejection of drainfield areas by the Virginia Department of Health.
 - The private roads shown herein have been designed for a minimum speed of 15 mph.
 - Minimum stopping sight distance exceeds 65 feet. Minimum intersection sight distance exceeds 60 feet.

Structure 2 Drainage Calculations:
 1.97 Acres, I10=6.9, I5 = 5.35
 Weighted C Calculations
 Impervious 0.07 Ac. at 0.95 = 0.07
 Steep Grass 0.31 Ac. at 0.30 = 0.09
 Unimproved 1.77 Ac. at 0.20 = 0.35
 Sum = 0.51/1.97=0.26
 Q10=1.97*0.26*5.35 = 2.74 cfs
 Q10=1.97*0.26*6.9 = 3.53 cfs



H=30' V=10'

Structure 2 Culvert Design

Design Parameters	
Section:	Circular
Material:	ADS N-12 HDPE
Diameter:	15.00 in
Manning's n:	0.0120
Number of Barrels:	1
Inlet:	
Inlet Type:	Groove End Projecting
Ke:	0.20
Inverts:	
Inlet Invert Elevation:	545.000 ft
Outlet Invert Elevation:	543.000 ft
Length:	50.000 ft
Slope:	0.0400 ft/ft
Culvert Calculation:	
Discharge:	3.57 cfs
Headwater Elevation:	546.150 ft
Tailwater Elevation:	0.000 ft
Downstream Velocity:	9.55 ft/s
Downstream Flow Depth:	0.430 ft
Flow Control Type:	Outlet Control

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CO. OF VIRGINIA
 MICHAEL M. ARTZ
 No. 1513
 12-27-17
 LAND SURVEYOR

COQUETTE ESTATES
 JOHN MOSBY-HIGHWAY
 GREENWAY DISTRICT, CLARKE COUNTY, VA

PLAN & PROFILE

PETER & MELANIE HITCHEN
 397 LOCKES MILL ROAD
 BERRYVILLE, VA 22611

NO.	DATE	REVISIONS	BY
1	12-17-2017	ADDRESS 1ST REVIEW COMMENTS	MMA
2	1-15-2018	ADDRESS AND REVIEW COMMENTS	MMA

PROJECT: HITCH17001

DATE: 2017-11-02

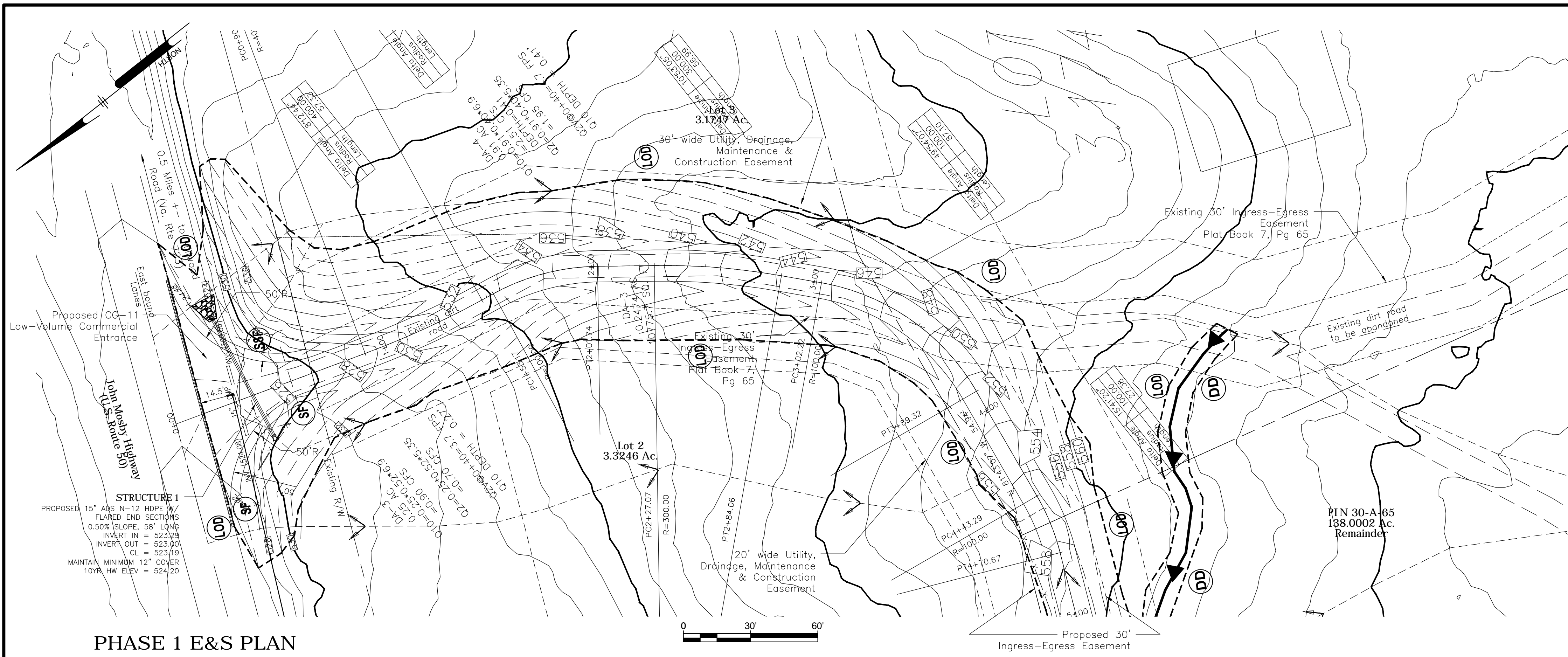
DRAWING SCALE: AS NOTED

DRAWN BY: MMA

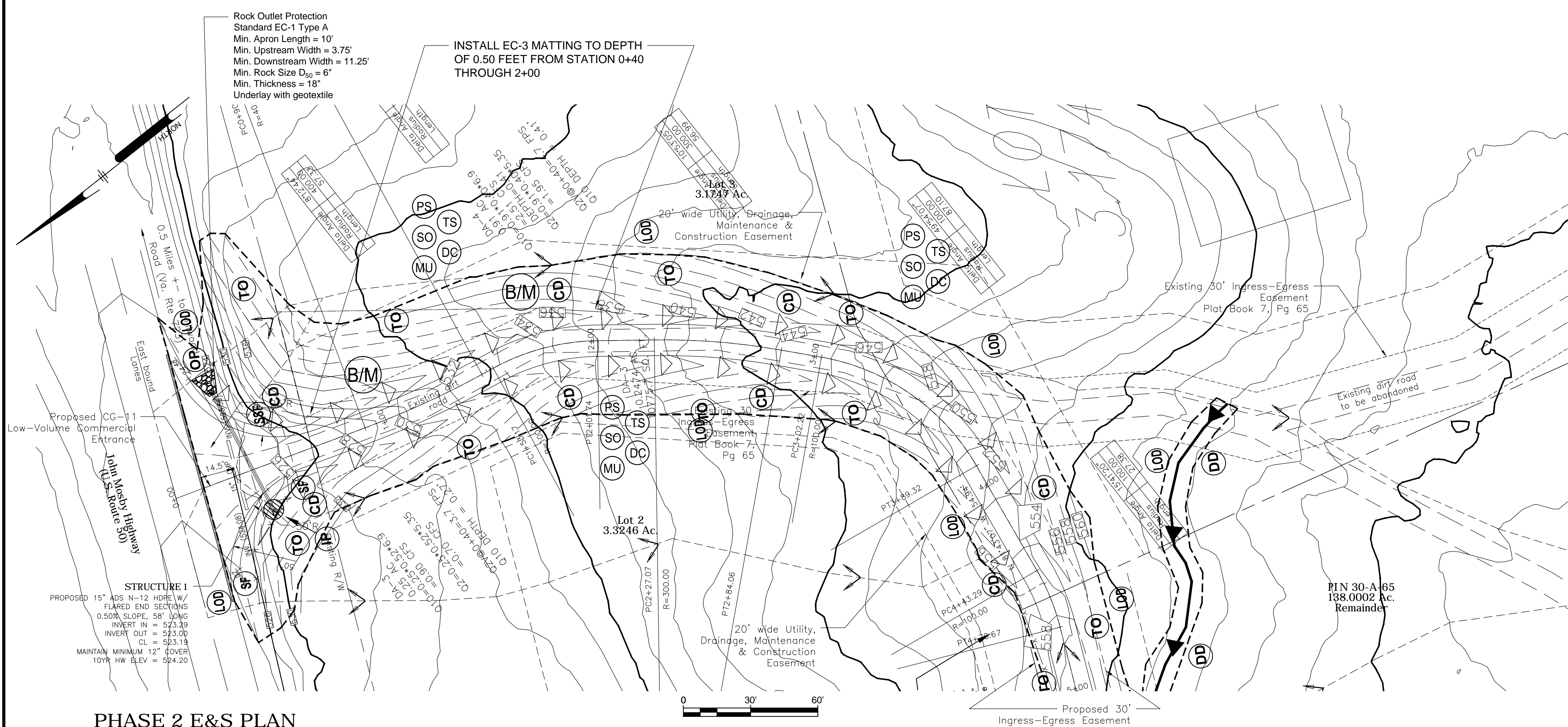
APPROVED BY: MMA

CS1000

SHEET 3 OF 6



PHASE 1 E&S PLAN



PHASE 2 E&S PLAN

EROSION AND SEDIMENT CONTROL LEGEND

3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	
3.08	CULVERT INLET PROTECTION	CIP	
3.09	TEMPORARY DIVERSION DIKE	DD	
3.18	OUTLET PROTECTION	OP	
3.20	ROCK CHECK DAM	CD	
3.36	SOIL STABILIZATION BLANKETS AND MATTING	B/M	
3.31	TEMPORARY SEEDING	TS	
3.32	PERMANENT SEEDING	PS	
3.33	SODDING	SO	
3.35	MULCHING	MU	
3.39	DUST CONTROL	DC	
3.30	TOP SOILING	TO	
	LIMITS OF DISTURBANCE	LOD	

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Michael M. Artz
 MICHAEL M. ARTZ
 No. 1513
 12-27-17
 LAND SURVEYOR

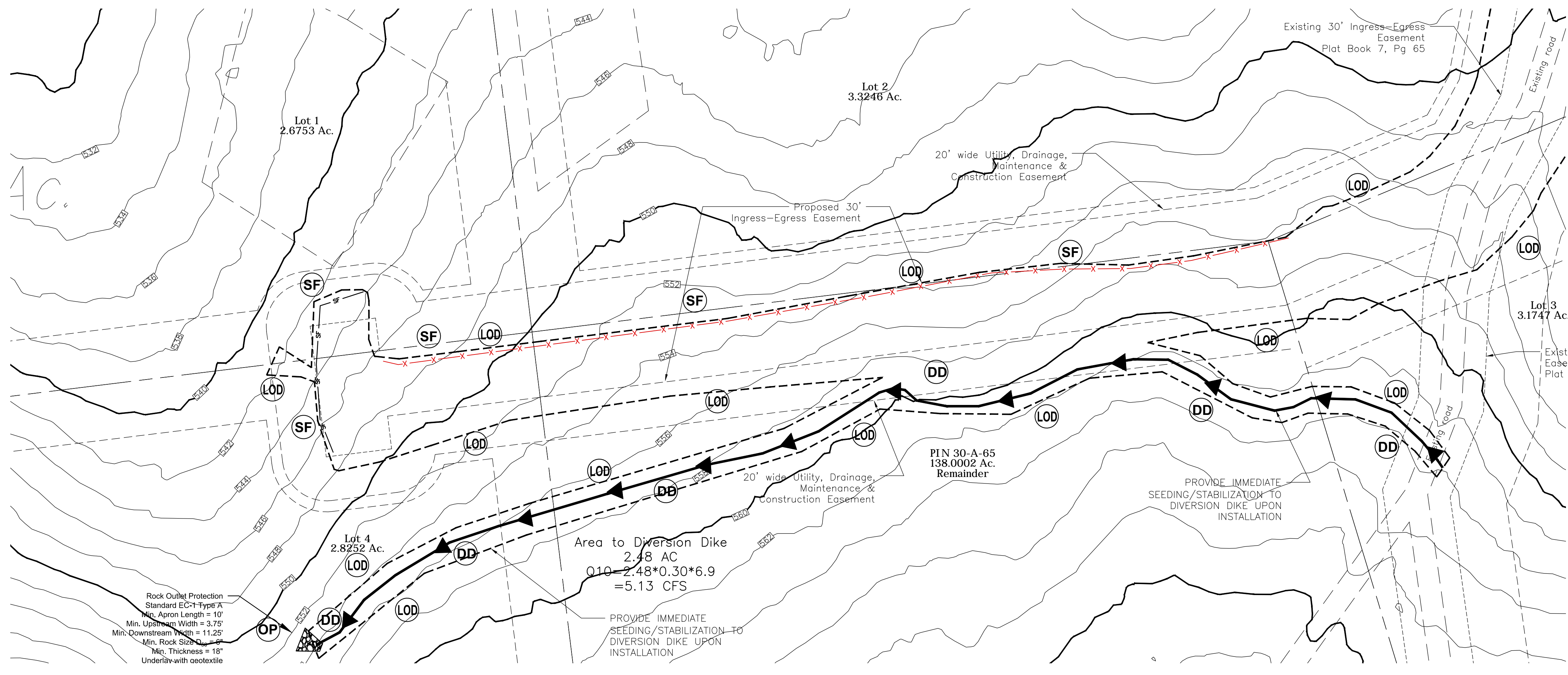
COQUETTE ESTATES
 JOHN MOSBY HIGHWAY
 GREENWAY DISTRICT, CLARKE COUNTY, VA
EROSION & SEDIMENT CONTROL PHASES 1 & 2
 PETER & MELANIE HITCHEN
 397 LOCKES MILL ROAD
 BERRYVILLE, VA 22611

NO.	DATE	REVISIONS	BY
1	12-17-2017	ADDRESS 1ST REVIEW COMMENTS	MMA
2	1-15-2018	ADDRESS AND REVIEW COMMENTS	MMA

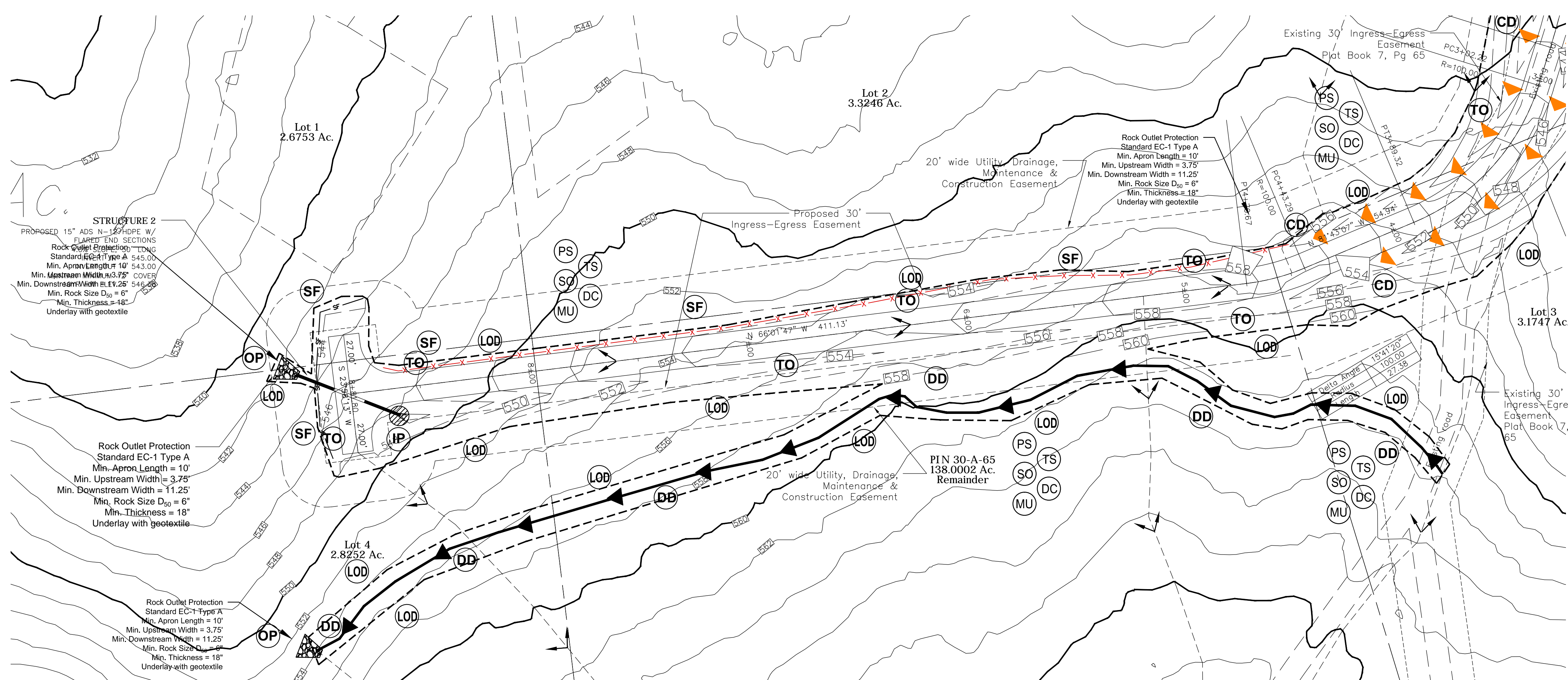
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PROJECT: HITCH17001
 DATE: 2017-11-02
 DRAWING SCALE: AS NOTED
 DRAWN BY: MMA
 APPROVED BY: MMA

CS8003
 SHEET 4 OF 6



PHASE 1 E&S PLAN



PHASE 2 E&S PLAN



EROSION AND SEDIMENT CONTROL LEGEND

3.02	TEMPORARY STONE CONSTRUCTION ENTRANCE	CE	
3.05	SILT FENCE	SF	
3.08	CULVERT INLET PROTECTION	CIP	
3.09	TEMPORARY DIVERSION DIKE	DD	
3.18	OUTLET PROTECTION	OP	
3.20	ROCK CHECK DAM	CD	
3.36	SOIL STABILIZATION BLANKETS AND MATTING	B/M	
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3.33	SODDING	SO	
3.35	MULCHING	MU	
3.39	DUST CONTROL	DC	
	LIMITS OF DISTURBANCE	LOD	

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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

CO. MICHAEL M. ARTZ
 No. 1513
 12-27-17
 LAND SURVEYOR

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EROSION & SEDIMENT CONTROL PHASES 1 & 2
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 397 LOCKES MILL ROAD
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1	12-17-2017	ADDRESS 1ST REVIEW COMMENTS	MMA
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PROJECT: HITCH17001
 DATE: 2017-11-02
 DRAWING SCALE: AS NOTED
 DRAWN BY: MMA
 APPROVED BY: MMA

CS8001
 SHEET 5 OF 6

Coquette Estates
Private Road Construction Plans and Low Volume Commercial Entrance

Erosion and Sediment Control Narrative and Stormwater Management Plan

Project Description
The purpose of this project is the construction of a private road and a Low Volume Commercial Entrance. The site is located on the southern side of John Mosby Highway (U.S. Route 50) about 0.5 miles west of Millwood Road (Va. Rte. 723). A site map is included on the plans.

About 1.32 acres will be disturbed during construction of the project.

Existing Site Conditions

The site of the proposed construction is an existing road way that leads to a completely wooded area where the new private road will be built. The topography varies greatly on the site but is generally slopes of 6 to 8%.

Adjacent Areas

Adjoining properties are agriculture or forested.

Offsite Areas

No offsite areas will be disturbed during construction.

Soils

According to the USDA Web Soil Survey the soils within the limits of disturbance is the 38B Poplimento-Webbtown complex, 3 to 8 percent slopes. The hydrologic soil group is C.

Erosion and Sediment Control Measures

1.0 General

1.1 Description:

- A. Work Included: Erosion and sediment control operations and devices required for this work are indicated on the drawings and include but are not necessarily limited to:
1. Installation of temporary control devices;
 2. Maintenance of temporary control devices;
 3. Temporary forms of stabilization;
 4. Installation of permanent control devices;
 5. Removal of devices and site restoration.

1.2 Standards:

- A. The following codes and standards, latest editions form a part of this specification, to the extent of all provisions applicable to the work required for this project, and as specifically referenced herein.
1. All work shall comply with the Virginia Erosion and Sediment Control Handbook and as amended by local codes and regulations.
 2. VDOT Specifications and Standards.
 3. Clarke County Specifications and Standards.

1.3 Protection:

- A. Use all means necessary to protect all materials incorporated into the work of this section before, during and after installation. In the event of damage, immediately make all repairs and replacements necessary to the approval of the Owner's Representatives and at no additional cost to the Owner.
- B. Maintain and protect all benchmarks, monuments and similar reference points and, if they are displaced or destroyed by these operations, replace same as directed at no additional cost to the Owner.

1.4 Permits:

- A. The Contractor will secure certificates and permits and pay for all fees required by local codes and regulations. The Contractor shall ensure that value of the erosion and sediment control work to include maintenance and all seeding of disturbed areas shall be included in the overall project performance bond.

2.0 Execution

2.1 General Requirements:

- A. Limit grading to only those areas involved in current construction activities. Limit length of time for exposure of unprotected graded areas. Permanent stabilization of graded areas shall be done within seven days after construction. If permanent stabilization cannot be provided, temporary seeding, mulching or other forms of stabilization shall be provided.

- B. The construction entrance, construction safety fence (if required), diversion, silt fence and inlet protection shall be constructed as part of the initial phase of construction and shall be made functional as soon as possible. These improvements are shown on the Erosion and Sediment Control Plan. Other sedimentation control devices, silt fence and inlet/outlet protection, will be installed as construction progresses. Construction of the devices shall agree with the details shown on the plan subject to modifications thereof that the County Inspector deems advisable. Regardless, the sediment control devices shall comply with all requirements of the Virginia Erosion and Sediment Control Handbook. They shall remain in place until all surfaces within the project are stabilized such that siltation will not occur; i.e., all upstream areas from the control devices have vegetation established, mulch in place or furnished pavement completed. All temporary erosion and sediment control measures shall be removed within 30 days after final site stabilization or after the temporary measures are no longer needed, unless otherwise authorized by the local program authority. Trapped sediment and the disturbed soil areas resulting from the disposition of temporary measures shall be removed off site or permanently stabilized to prevent further erosion and sedimentation (4VAC50-30-40 Minimum Standard No. 18).

- C. The Contractor agrees to hold the Owner or any of its agents harmless from any and all liability or damage that may arise from a violation of the siltation ordinance and agrees to indemnify them against any loss.

- D. Storm and Utility lines shall be installed in accordance with the following standards in addition to other applicable criteria (4VAC50-30-40 Minimum Standard No. 16):

1. No more than 500 linear feet of trench may be opened at one time.
2. Excavated material shall be placed on the uphill side of trenches.
3. Effluent from dewatering operations shall be filtered or passed through an approved sediment trapping device, or both, and discharged in a manner that does not adversely affect flowing streams or off-site property.
4. Restabilization shall be accomplished in accordance with these regulations.
5. Applicable safety regulations shall be complied with.

- E. Soil Stabilization: Permanent or temporary soil stabilization shall be applied to denuded areas within seven days after final grade is reached on any portion of the site. Temporary soil stabilization shall be applied within seven days to denuded areas that may not be at final grade but will remain dormant (undisturbed) for longer than 14 days. Permanent stabilization shall be applied to areas that are to be left dormant for more than one year (4VAC50-30-40 Minimum Standard No. 1).

- During construction of the project, soil stockpiles and borrow areas shall be stabilized or protected with sediment trapping devices (i.e., silt fence). Contractor is responsible for the temporary protection and permanent stabilization of all soil stockpiles on site as well as borrow areas and soil intentionally transported from the project site (4VAC50-30-40 Minimum Standard No. 2).

- Stabilization measures shall be applied to earthen structures such as dams, dikes, and diversions immediately after installation (4VAC50-30-40 Minimum Standard No. 5).

Permanent Stabilization: A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized. Permanent stabilization shall not be considered established until a ground cover is achieved that is, uniform, mature enough to survive and will inhibit erosion (4VAC50-30-40 Minimum Standard No. 3). Permanent Stabilization will occur as a final phase of construction. All disturbed areas not paved will receive at a minimum 4" of topsoil if required (see Top soiling STD & SPEC 3.30) and be seeded per the recommendations in Table 3.32-C. Seeded areas to be watered and cared for as necessary to provide grass emergence.

Temporary Stabilization: Seeding to stabilize areas left denuded for more than seven days, but not yet at final grade shall be per the recommendations in Table 3.31-B. Seeded areas to be watered and cared for as necessary to provide grass emergence.

- F. Description of Controls
Control will be exercised through sequence of land disturbing operations, limiting duration of exposure of unstabilized areas and installation and maintenance of physical control devices coordinated with sequence of construction. Details for the standards referenced below are included on the plans. The devices to be used on the site are also shown on the drawings and include the following:

1. Construction entrance - (STD & SPEC 3.02) There is a high potential for tracking mud on to adjacent pavement during wet site conditions. Construction entrances are needed at the location shown on the plans to clean the tires of vehicles and equipment exiting the job site.
2. Silt Fence - (STD & SPEC 3.05) Silt fencing shall be placed as shown on the plan in order to filter sediments before runoff exits the construction area.
3. Culvert Inlet Protection - (STD & SPEC 3.08) Culvert inlet protection shall be installed as shown on the plan to prevent sediment from entering new storm culverts.
4. Temporary Diversion Dike - (STD & SPEC 3.09) Temporary Diversion Dike shall be placed as shown on the plan to divert clean water from entering the construction area.
5. Outlet Protection - (STD & SPEC 3.18) EC-1 required at both new culverts.

G. Sequence of Land Disturbing Activities:

1. General: All applicable mechanical controls are to be constructed as the first item of work. Following their completion, rough grade, finish grade, and install appropriate erosion and sedimentation aids. Before newly constructed stormwater conveyance channels or pipes are made operational, adequate outlet protection and any required temporary or permanent channel lining shall be installed in both the conveyance channel and receiving channel (4VAC50-30-40 Minimum Standard No. 11). Retain control devices until final stabilization of all areas or as directed by the County Representative.

Sequence of Construction:
CONSTRUCTION PHASES:

- a. **First Phase:**
1. Install Construction Entrance.
 2. Install and immediately stabilize/seed the diversion dike as shown on plan
 3. Install outlet protection and silt fence as shown on plan
 4. Begin construction of the private road.

- b. **Second Phase:**
1. Maintain all measures installed in First Phase
 2. Install new culverts
 3. Install inlet protection, outlet protection.

- c. **Third Phase**
1. Maintain all measures installed in First and Second Phases
 2. Finish grade.
 3. Stabilize as necessary.

- d. **Fourth Phase:**
1. Remove temporary sediment control measures including Diversion Dike on transition to site development per approved plan.

H. Maintenance Program: All control measures are to be inspected daily by the site superintendent or his representative. Any damaged structure should be repaired at the close of the day. Inlet protection devices and silt fencing should be cleaned at 50% capacity and spread on-site where practical. Control structures shall not be removed until all areas above have been finally stabilized and seeded areas established. No control shall be removed without the site inspector's prior approval. The daily control measure inspections by the contractor shall be documented to indicate findings and corrective action taken. These reports shall be submitted to the County once every two week's basis, and a copy shall be kept onsite and included in the Stormwater Management Pollution Prevention Plan (SWPPP). Where sediment is transported onto a paved or public road surface, the road surface shall be cleaned thoroughly at the end of each day. Sediment shall be removed from the roads by shoveling or sweeping and transported to stockpile areas. Street washing shall be allowed only after sediment is removed in this manner. (4VAC50-30-40 Minimum Standard No. 17).

- I. Contractor is responsible for obtaining the rights to, and for providing approved Erosion and Sediment Control plans for any offsite borrow or waste sites, if the need for such sites becomes necessary.

Stormwater Management:

The site is part of a larger common plan of development. This site exceeds the required Phosphorous Load Reduction. See Runoff Reduction calculations for details. No storm water quality practices are proposed.

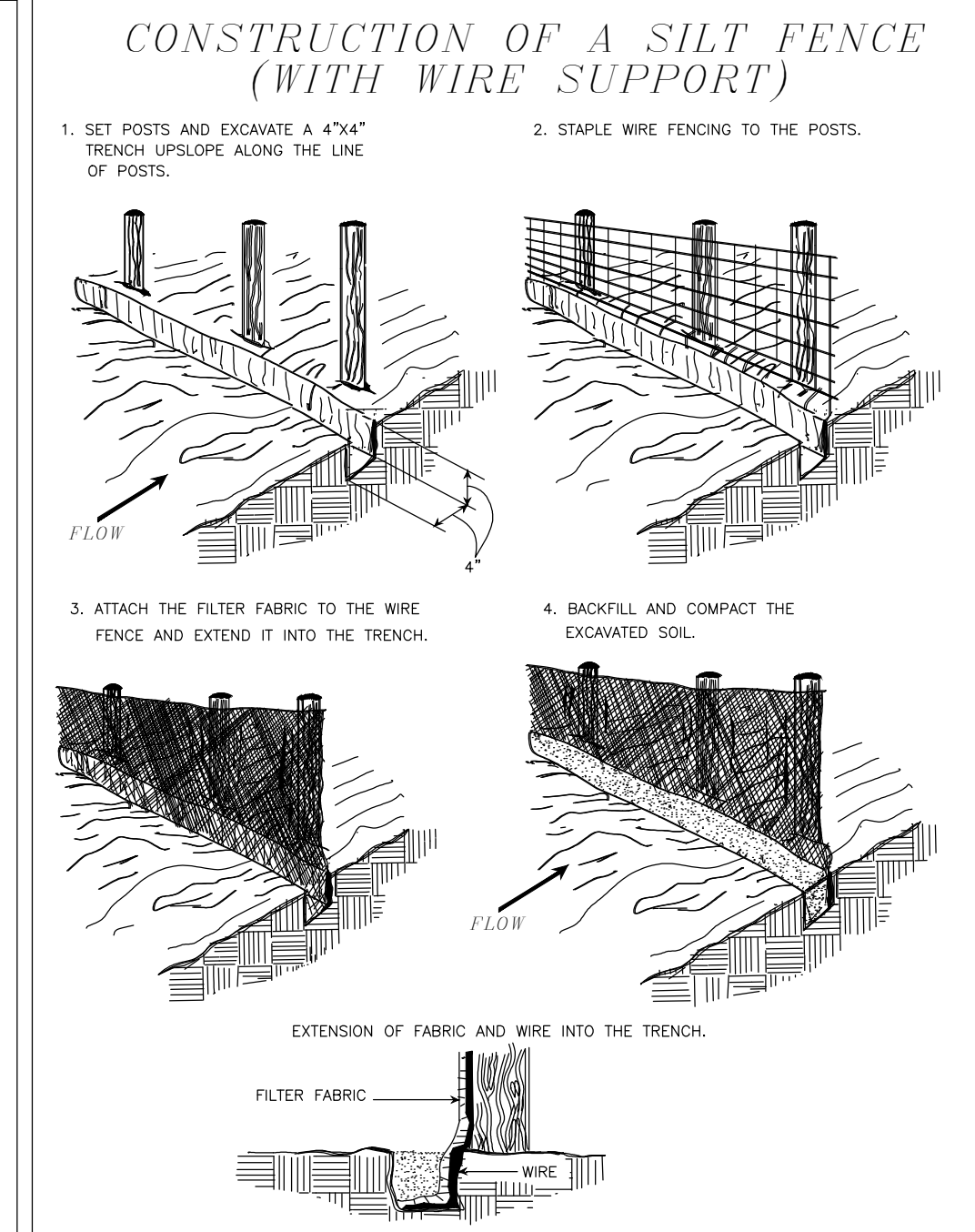
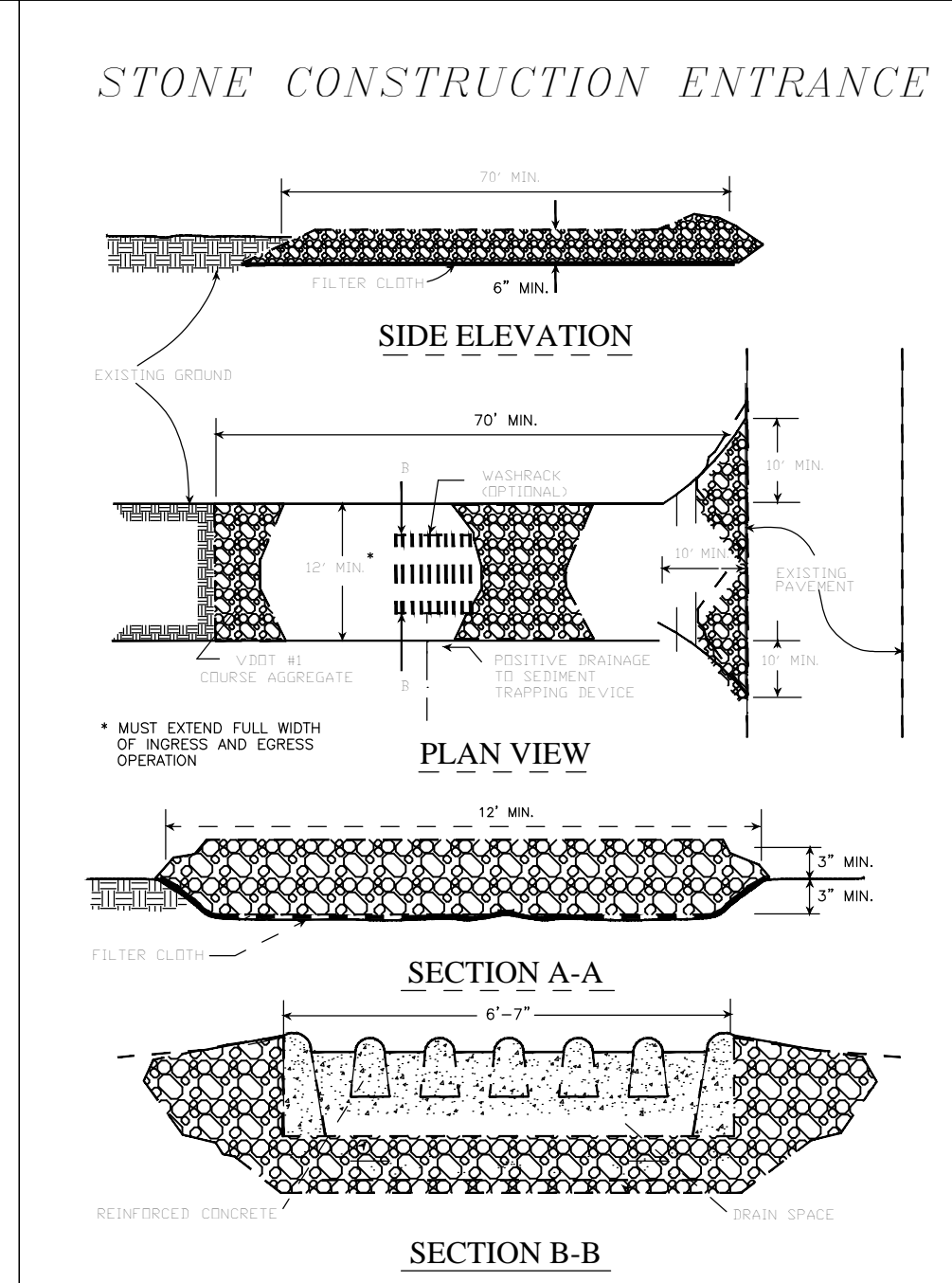
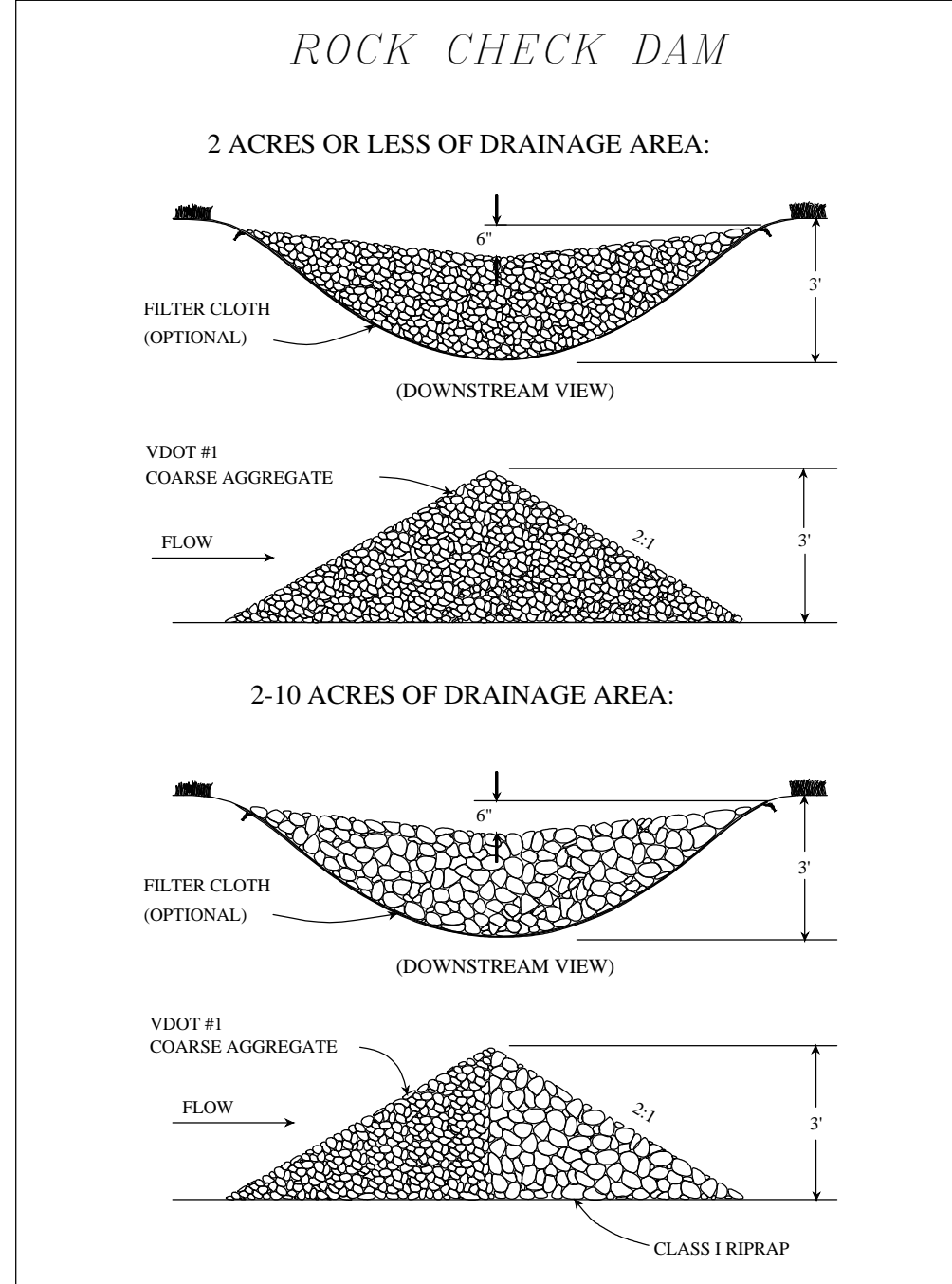


TABLE 3.32-C
PERMANENT SEEDING SPECIFICATIONS FOR APPALACHIAN/MOUNTAIN AREA
(Revised June 2003)

LAND USE	SEED SPECIES	APPLICATION RATES
Minimum Care Lawn (Commercial or Residential)	Tall Fescue ¹	90-100#
	Perennial Ryegrass ²	0-10#
	Kentucky Bluegrass ³	0-10#
		TOTAL: 200-250 lbs.
High-Maintenance Lawn	Minimum of three (3) up to five (5) varieties of Kentucky Bluegrass from approved list for use in Virginia	TOTAL: 125 lbs.
	Tall Fescue ¹	125 lbs.
General Slope (3:1 or less)	Red Top Grass or Creeping Red Fescue	2 lbs.
	Seasonal Nurse Crop ⁴	20 lbs.
		TOTAL: 150 lbs.
Low-Maintenance Slope (Steeper than 3:1)	Tall Fescue ¹	108 lbs.
	Red Top Grass or Creeping Red Fescue	2 lbs.
	Seasonal Nurse Crop ⁴	20 lbs.
	Crownvetch ⁵	20 lbs.
		TOTAL: 150 lbs.

1 - When selecting varieties of turfgrass, use the Virginia Crop Improvement Association (VCIA) recommended turfgrass variety list. Quality seed will bear a label indicating that they are approved by VCIA. A current turfgrass variety list is available at the local County Extension office or through VCIA at 804-746-4884 or at <http://extension.vce.virginia.edu/PlantTurfGrass/varietylist.html>

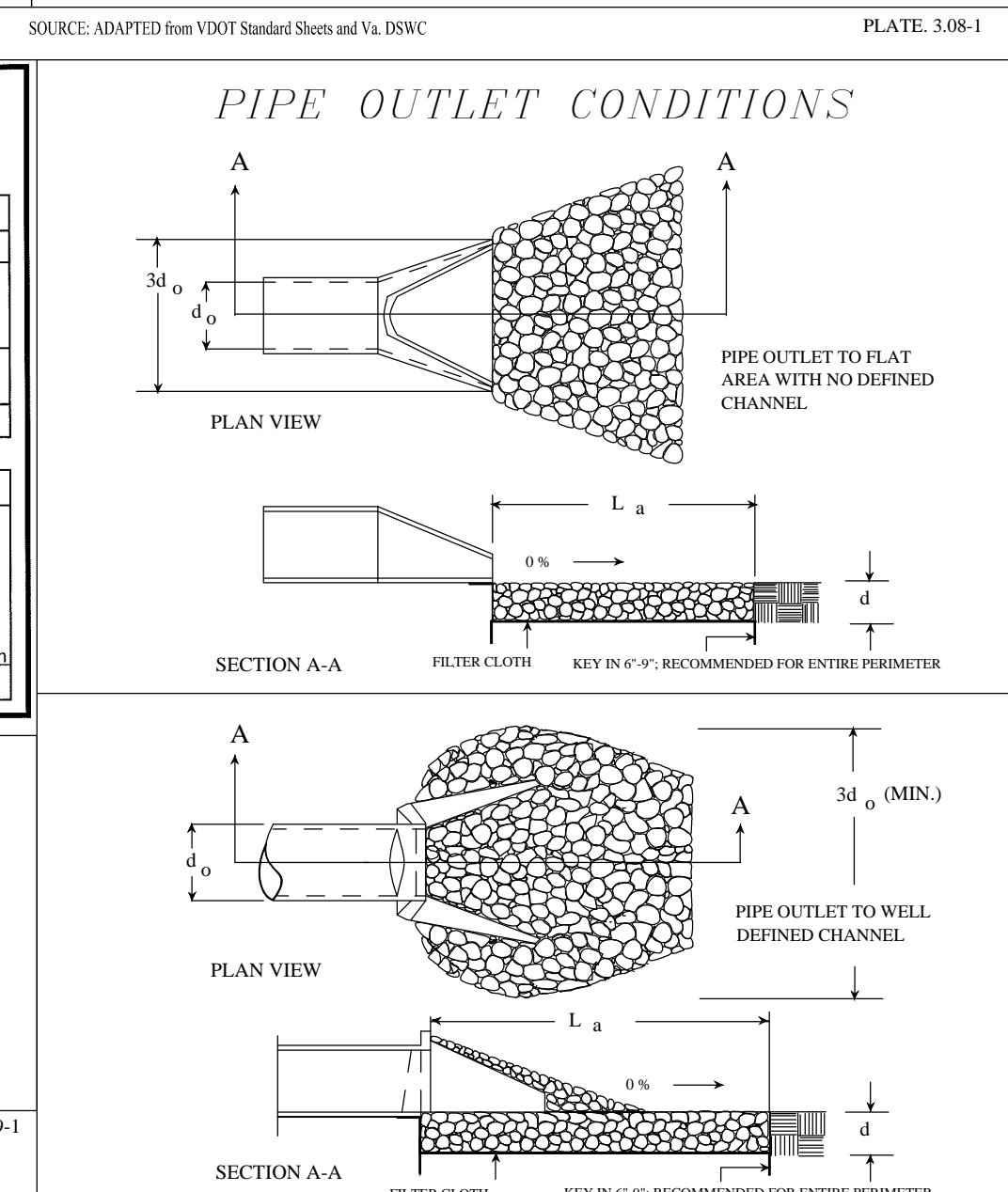
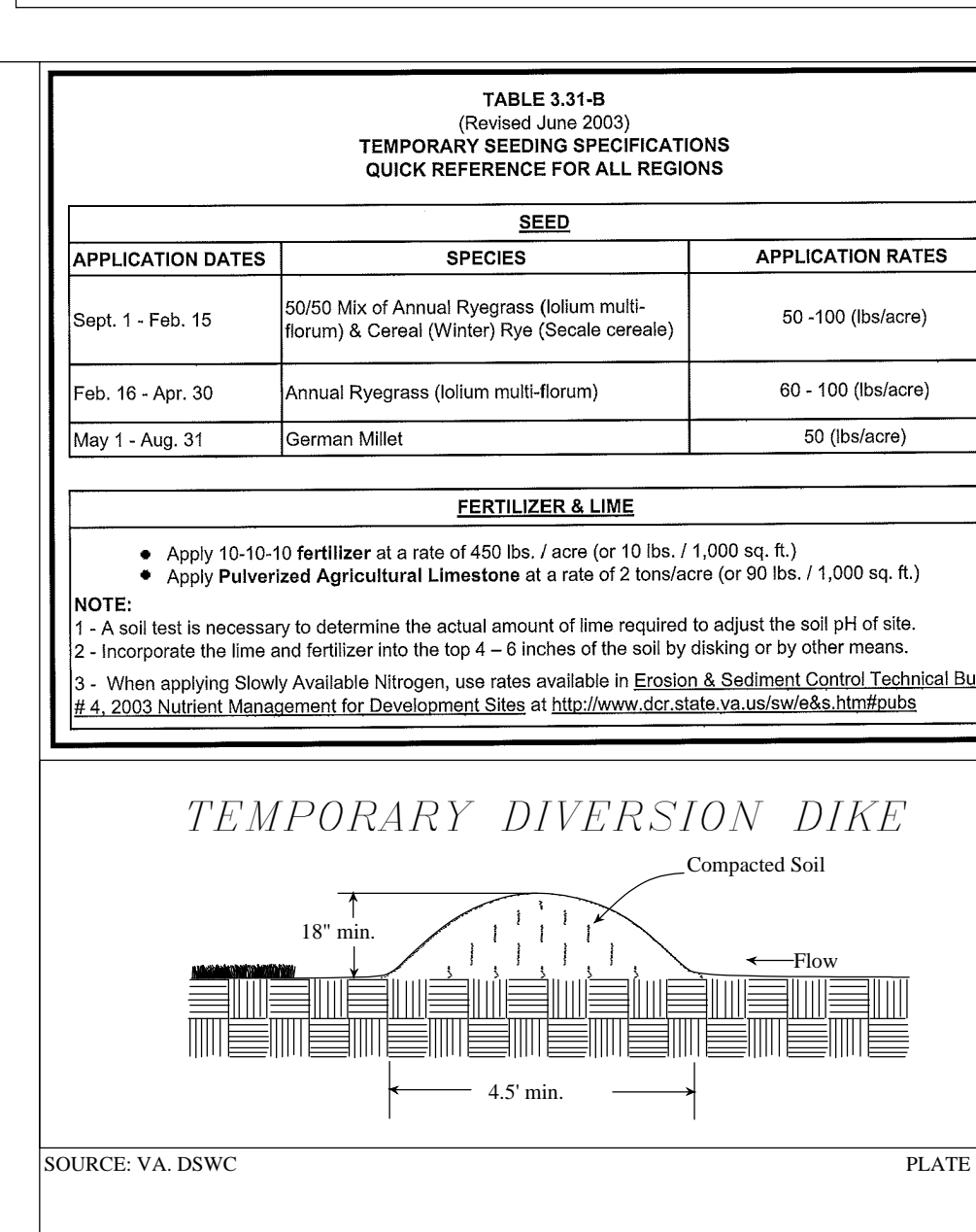
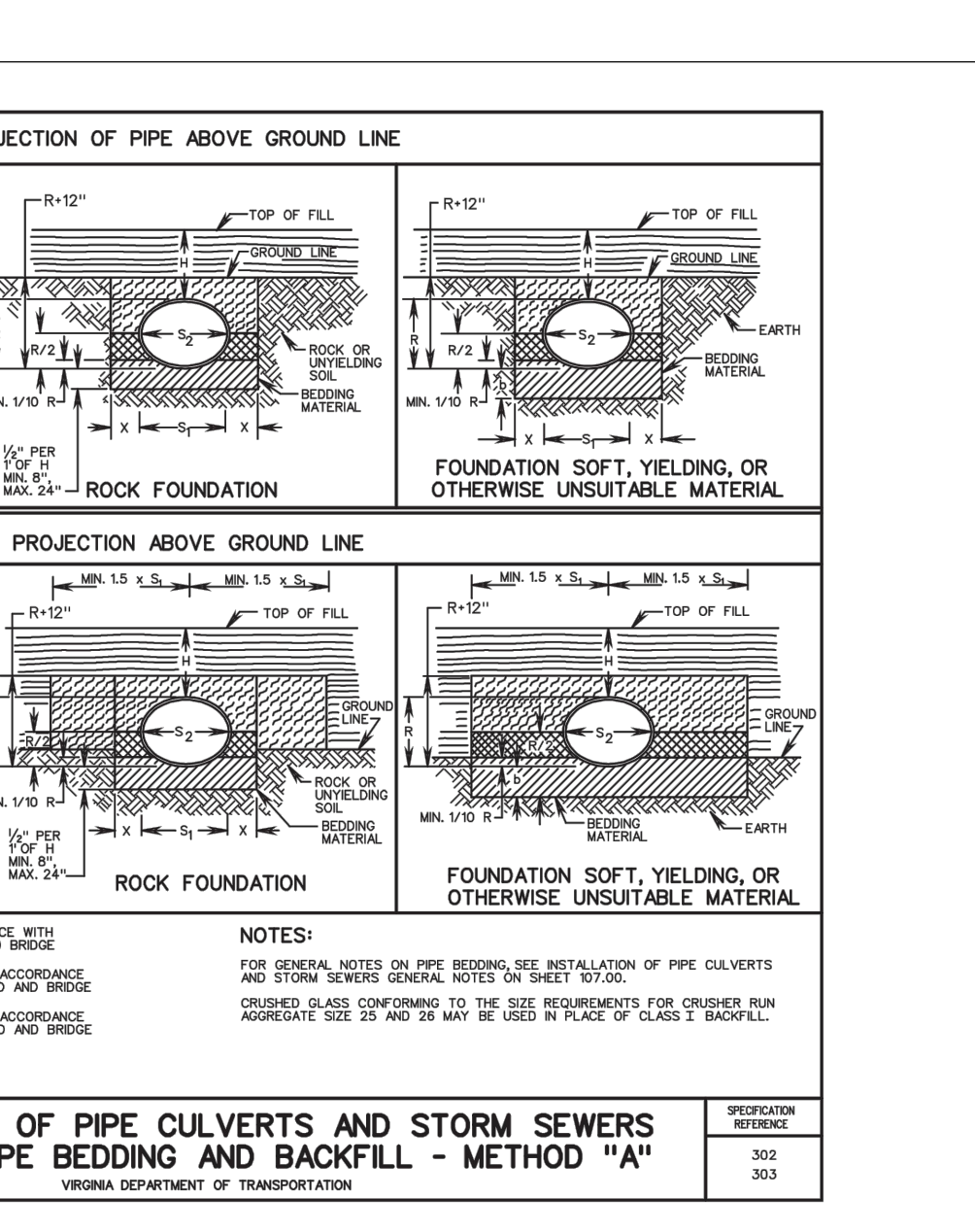
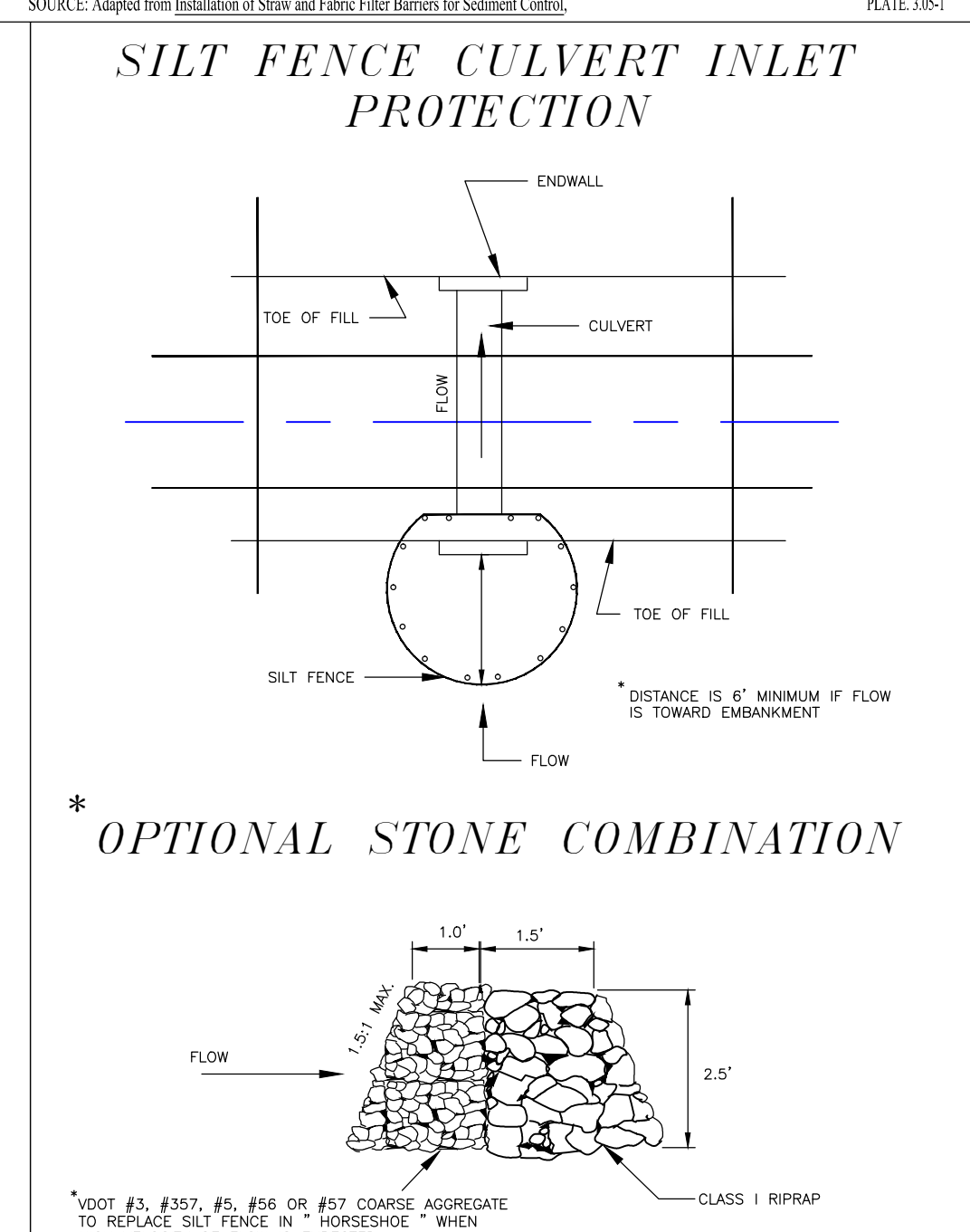
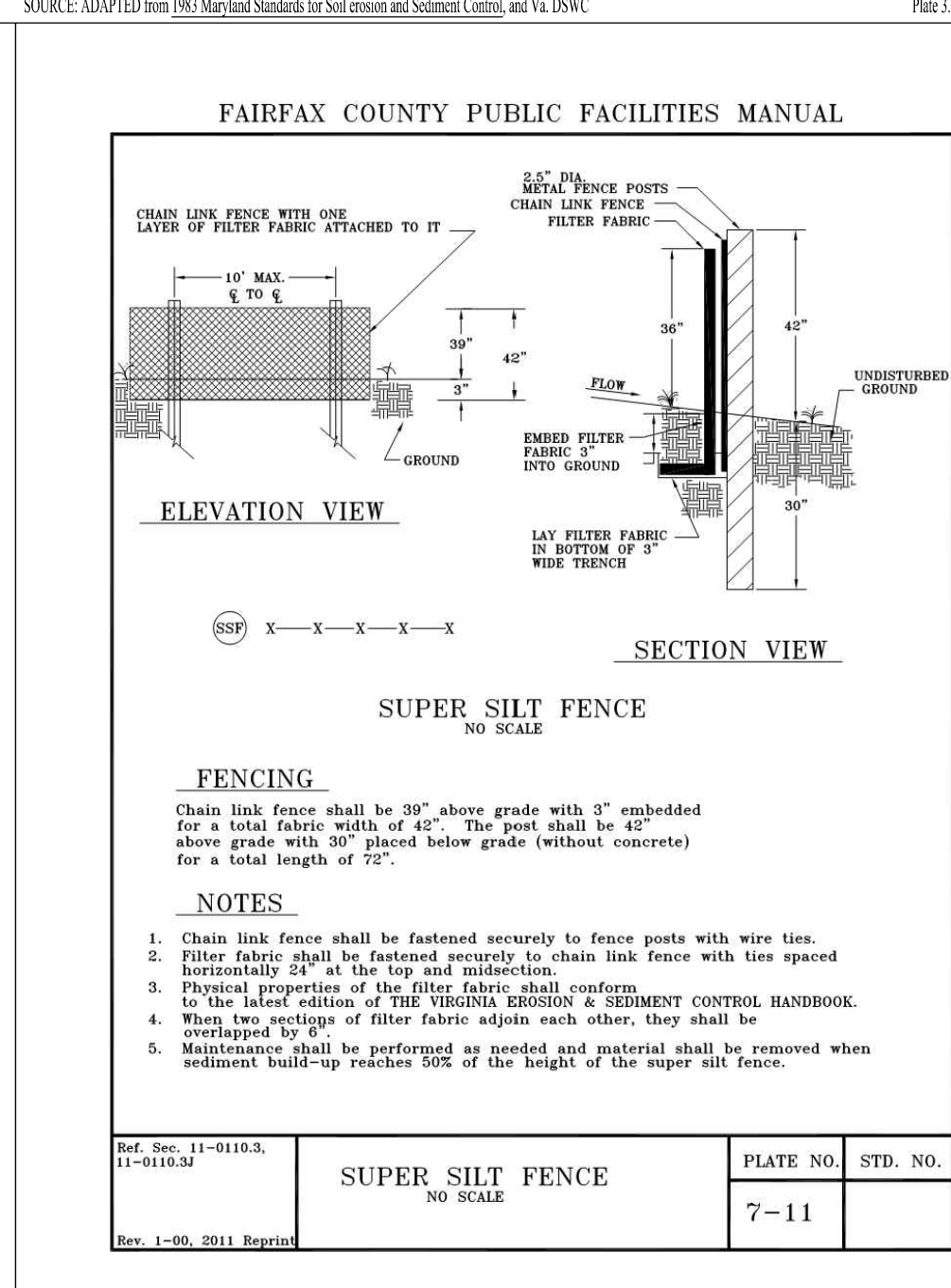
2 - Perennial Ryegrass will germinate faster and at lower soil temperatures than Tall Fescues, thereby providing cover and erosion resistance for seedbed.

3 - Use seasonal nurse crop in accordance with seeding dates as stated below:

March, April - May 15 th	Annual Rye
May 15 th - August 15 th	Foxtail Millet
August 15 th - September 30 th	Annual Rye
September 30 th - October 31 st	Winter Rye
November - February	Winter Rye

4 - All legume seed must be properly inoculated. If Fertilpa is used, increase to 30 lbs./acre. If Weeping Lovgrass is used, include in any slope or low maintenance mixture during warmer seeding periods, increase to 30-40 lbs/acre.

5 - Crownvetch is a perennial legume that provides excellent erosion control and soil stabilization.



SEEDING REQUIREMENTS

PERMANENT STABILIZATION: ALL DISTURBED AREAS NOT PAVED WILL RECEIVE AT A MINIMUM 4" OF TOPSOIL AND BE SEED AS FOLLOWS:	TEMPORARY STABILIZATION: SEEDING TO STABILIZED AREAS LEFT DENUDED FOR MORE THAN SEVEN DAYS, BUT NOT YET AT FINAL GRADE SHALL BE AS FOLLOWS:
200 LBS. TALL FESCUE PER ACR.	60 LBS. GERMAN MILLET PER AC. (MAY THRU SEPTEMBER)
20 LBS. ANNUAL RYE PER AC.	60 LBS. ANNUAL RYE PER AC. (OCTOBER THRU APRIL)
1000 LBS. 10-20-30 FERTILIZER PER AC.	450 LBS. 10-20-30 FERTILIZER PER AC.
3 TONS AGRICULTURAL LIMESTONE PER AC.	3 TONS AGRICULTURAL LIMESTONE PER AC.
2 TONS STRAW MULCH PER AC.	2 TONS STRAW MULCH PER AC.

SEEDING NOTES:
SEEDING AREAS TO BE CARED FOR AS NECESSARY TO ENSURE GRASS EMERGENCE.

- SEEDING NOTES:**
1. TOPSOIL SHALL BE SPREAD AT A MINIMUM DEPTH OF 4".
 2. PULVERIZED AGRICULTURAL LIMESTONE SHALL BE INCORPORATED INTO SOIL AT A RATE OF 92 LBS. PER 1000 S.F. (2 TONS PER ACRE).
 3. FERTILIZE WITH 10-20-10 AT A RATE OF 12 LBS. PER 1000 S.F. (500 LBS. PER ACRE).
 4. SEED MIX SHALL CONSIST OF 90% KENTUCKY 31 TALL FESCUE AND 10% KENTUCKY BLUEGRASS APPLIED AT THE RATE OF 200 LBS. PER ACRE. STRAW MULCH SHALL BE APPLIED TO ALL SEEDED AREAS AT THE RATE OF 3500 LBS.
 5. PER ACRE AND ANCHORED WITH CUTBACK, OR EMULSIFIED ASPHALT APPLIED AT A RATE OF 200 GALLONS PER ACRE.

Pennonni
PENNONNI ASSOCIATES, INC.
1900 Market Street, Suite 300
Philadelphia, PA 19103
T 215.222.3000 F 215.222.3568

Professional Seal:
MICHAEL M. ARTZ
No. 1513
12-27-17
LAND SURVEYOR

COQUETTE ESTATES
JOHN MOSBY HIGHWAY
GREENWAY DISTRICT, CLARKE COUNTY, VA

EROSION & SEDIMENT CONTROL NARRATIVE & DETAILS

PETER & MELANIE HITCHEN
397 LOCKES MILL ROAD
BERRYVILLE, VA 22611

NO.	REVISIONS	DATE	BY
1	ADDRESS AND REVIEW COMMENTS	8-15-2018	MMA
2	ADDRESS AND REVIEW COMMENTS	12-17-2017	MMA

ALL DOCUMENTS PREPARED BY PENNONNI ASSOCIATES ARE INSTRUMENTS OF SERVICE IN RESPECT OF THE PROJECT. THEY ARE NOT INTENDED OR REPRESENTED TO BE SUITABLE FOR REUSE BY OWNER OR OTHERS ON THE EXTENSIONS OF THE PROJECT OR ON ANY OTHER PROJECT. ANY REUSE WITHOUT WRITTEN VERIFICATION OR ADAPTATION BY PENNONNI ASSOCIATES FOR THE SPECIFIC PURPOSE INTENDED SHALL BE AT OWNERS SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO PENNONNI ASSOCIATES, AND OWNERS SHALL INDEMNIFY AND HOLD HARMLESS PENNONNI ASSOCIATES FROM ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES ARISING OUT OF OR RESULTING THEREFROM.

PROJECT: HITCH17001
DATE: 2017-11-02
DRAWING SCALE: AS NOTED
DRAWN BY: MMA
APPROVED BY: MMA

CS8002
SHEET 6 OF 6

MINOR SUBDIVISION (MS-18-02)

Amelia D. Pearson Bailey, Trustee, Helen M. Pierson, Estate of F. Stanley Pierson

April 6, 2018 Planning Commission Meeting

STAFF REPORT -- Department of Planning

The purpose of this staff report is to provide information to the Planning Commission to assist them in reviewing this proposed minor subdivision. It may be useful to members of the general public interested in this proposed subdivision.

Case Summary

Applicant(s):

Amelia D. Pearson Bailey, Trustee, Helen M. Pierson, Estate of F. Stanley Pierson

Location:

- Subject property is located in the 300 block of Saw Mill Hill Road
- Tax Map Parcel #25-A-27A
- Millwood Election District (Caldwell and Glover)

Zoning District and Lot Guidelines:

Forestal Open Space-Conservation (FOC)

Proposed Lot Configurations:

5.0010 acres - Area of Lot 1 (One Existing Dwelling and No DURs remaining)

17.0218 acres - Area of Lot 2 (No Existing Dwelling and (1) DUR)

22.0228 acres - Area of Tax Map #25-A-27A

Request:

Approval of a two lot Minor Subdivision of the property identified as Tax Map #25-A-27A, located at 311 Saw Mill Hill Road in the Millwood Election District zoned Forestal Open-Space Conservation (FOC).

Staff Discussion/Analysis:

Access:

The ingress/egress for Lot 1 will be the existing driveway shown on the plat off Worthington Lane. The ingress/egress for the Lot 2 is shown on the plat as “Approved VDOT Entrance”. VDOT has reviewed the plat and offered comments including plat changes which have already been addressed by the surveyor. A permit from VDOT is required for any entrance construction.

Water and Sewage Disposal:

Both lots have been field reviewed by the Health Department. Lot 1 currently has an existing septic drainfield with no record and a proposed 200% reserve area as shown on the plat. Lot is served by a private well. Lot 2 will be served by a three bedroom alternative septic drainfield and a 100% alternative septic reserve area. Lot 2 will be served by a private well as shown on the plat. VDH is prepared to sign the final plats.

Karst Plan / Resistivity Test:

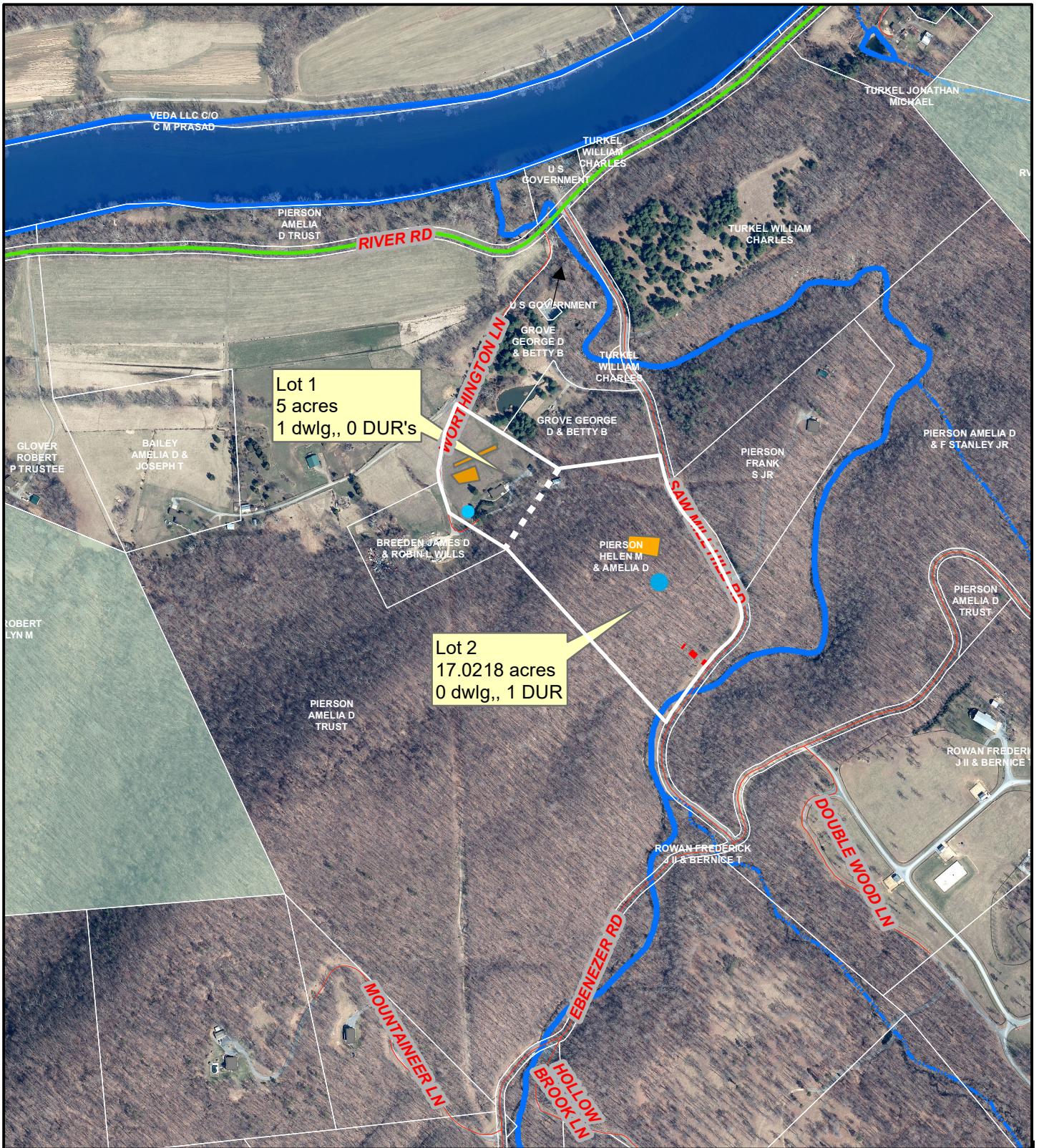
Not required.

Recommendation:

Staff recommends approval of a two lot Minor Subdivision of the property identified as Tax Map #25-A-27A, located at 311 Saw Mill Hill Road in the Millwood Election District zoned Forestal Open-Space Conservation (FOC).

History:

March 2, 2018	Complete application filed with the Department of Planning.
April 6, 2018	Placed on the Commission's business meeting agenda.



Pierson Family
 Tax Map# 25-A-27A
 22.02 acres, 1 DUR, 1 ext. dwlg.

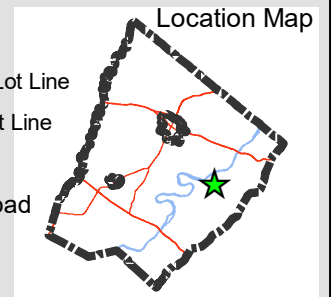


200000 200 Feet

Clarke County GIS
 March 29, 2018

Legend

- Parcel Boundary
- Conservation Easements
- Structures
- Drainfield
- Well
- Proposed Lot Line
- Existing Lot Line
- Roads
- Private Road





Lord Fairfax Health District

Clarke County Health Department
100 North Buckmarsh Street
Berryville, Virginia 22611
Tel. (540) 955-1033 ~ Fax (540) 955-4094
www.vdh.virginia.gov



February 12, 2018

Ryan Fincham
Senior Planner/Zoning Administrator
101 Chalmers Court
Berryville, Virginia 22611

RE: SUBDIVISION PRELIMINARY REVIEW COMMENTS

Applicant Name: Helen M. Pierson & Amelia D. Pierson Bailey
Health Department I.D. #: 043180018
Subdivision Name: Pierson
Section or Phase:
Tax Map #'s: 25-A-27A
Proposed Lots: 2 Lots

Dear Mr. Fincham,

Pursuant to your written request, we have evaluated the aforementioned minor subdivision proposal, and offer the following comments at this point in the review process.

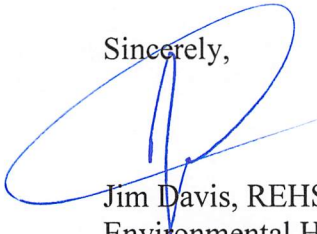
OWNER/APPLICANT ITEMS:

1. The applicant has not yet applied for Certification Letters for both proposed lots as required.
2. Proposed Lot 1 (5.0010 acres) on which an existing dwelling sits currently is served by a conventional gravity fed drainfield. There are no records on file for this system. The design appears to be 4 (four) trenches 100 feet in length. The existing drainfield and proposed 200% reserve area (3 bedroom/450 gpd) and soils were field reviewed on February 12, 2018 and no outstanding issues were observed. The proposal for the 200% reserve area utilizes TL-3 treatment to drip irrigation dispersal. This lot is served by a private well.

3. Proposed Lot 2 (17.0218 acres) is vacant. The proposed onsite sewage system design is for a 3 Bedroom dwelling, 450 gallons per day and a 100% Reserve Area both utilizing TL3 treatment to shallow trench dispersal. The proposed drainfield/100% reserve area, soils and proposed well site was field reviewed on February 12, 2018 and no outstanding issues were observed. This lot is to be served by private well.

This letter does not serve as an approval of the proposed subdivision, or its parts. If you have any questions, please contact me at 540.955.1033

Sincerely,



Jim Davis, REHS
Environmental Health Supervisor

PC: Amelia D. & Joseph T. Bailey
Robert Charnley, OSE
Health Department File

Clarke County - Route 607 Saw Mill Hill Road - Pierson Minor Subdivision - Tax Map# 25-A-27A

From : Boyce, Arthur (VDOT) <Bobby.Boyce@VDOT.Virginia.gov> Fri, Mar 23, 2018 02:12 PM
Subject Clarke County - Route 607 Saw Mill Hill Road - Pierson Minor Subdivision - Tax Map# 25-A-27A 2 attachments
To : rfincham@clarkecounty.gov
Funkhouser, Rhonda (VDOT)
Cc : <Rhonda.Funkhouser@VDOT.Virginia.gov>, Smith, Matthew, P.E. (VDOT) <Matthew.Smith@vdot.virginia.gov>, Johnson, Deana (VDOT) <Deana.Johnson@vdot.virginia.gov>

DEPARTMENT OF TRANSPORTATION
Staunton/Edinburg Land Development
14031 Old Valley Pike
Edinburg, VA 22824

Dear Mr. Fincham:

We have reviewed the above referenced subdivision plat dated January 16, 2018 by J2 Engineers, Inc for impacts to the transportation system. Our comments are marked in red and as follows:

The existing entrance does not have adequate sight distance to accommodate safe ingress/egress for motorist or residents. Therefore, provide a note on the plat stating that the existing entrance will be removed/obscured and relocated to the location depicted on the plat. This new entrance will need to meet VDOT's PE-1 entrance design standard.

The Route 607 stream crossing should be shown on the plat. No property corners were present during the entrance location review, therefore the stream was used as a reference point to locate the entrance as close as possible to it. We have no way of verifying the entrance location shown on the plat.

All symbols should be identified.

A Land Use Permit shall be obtained before any work is performed on the State's right-of-way. The permit is issued by this office and will require application fees and surety coverage. Once satisfactory application has been made, a permit will normally take 10-20 days to process and issue.

We appreciate the County's efforts to include VDOT in the early planning stages for development and the opportunity to provide comments on this Subdivision of Land. We ask that you include a copy of this official public record in file for the Subdivision. If you have any questions, would like to meet in the field and discuss or need further information, please do not hesitate to give me a call at (540) 984-5631.

Sincerely,

Bobby Boyce

Bobby Boyce
Land Development Engineer
Clarke, Frederick, Shenandoah, & Warren Counties
14031 Old Valley Pike
Edinburg, VA 22824
(540)984-5631

