

**CLARKE COUNTY PLANNING COMMISSION  
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# Clarke County Planning Commission

**AGENDA – Work Session**

**Tuesday, February 27, 2018 – 3:00PM**

**Berryville/Clarke County Government Center– A/B Meeting Room**

- 1. Approval of Work Session Agenda**
- 2. Review of Agenda Items for March 2, 2018 Business Meeting**
- 3. Old Business Items**
  - a. Progress Report, Ordinance Update Project**
- 4. New Business Items**
- 5. Other Business**
- 6. Adjourn**

## **ZONING AND SUBDIVISION ORDINANCE UPDATE PROJECT PROGRESS REPORT (MARCH 2018)**

- Work Plan Items Completed to Date:
  - Step 1 – Adopt Work Plan, Project Policies and Timeline
  
- Work Plan Items in Process: Currently on schedule. The Committee is currently working through Step 2, Discuss and Provide Formal Direction on Policy Issues (projected for completion by May 31, 2018). Recent issues reviewed include:
  - Create a consolidated definitions chapter that defines all substantive terms (P1) – Committee reviewed this issue and supports the creation of a unified definitions chapter for both the Zoning and Subdivision Ordinances.
  
  - Evaluate review process for local government project applications (P2) – Committee reviewed this issue and supports creation of a new section for local government projects indicating that all Zoning and Subdivision Ordinance requirements apply fully to these projects. Section will also include the substantial accord review process.
  
  - Consider compiling related ordinances (well, septic, E&S, special events) as chapters in the revised ordinance (P3) – Committee supports the grouping of directly-related ordinances with the Zoning & Subdivision Ordinances including the Septic Ordinance (Chapter 143), Well Ordinance (Chapter 184), Erosion and Sediment Control Regulations (Chapter 148), Sinkhole Regulations (Article II, Chapter 180), and Blasting Regulations (Chapter 86, Explosives). Committee also supports Staff’s recommendations on referencing other indirectly-related ordinances in the revised Zoning and Subdivision Ordinance or in the Guidance Manual. The Committee has asked for the County Attorney’s opinion on merging two County Code chapters – Dance Halls (Chapter 78) and Lighting in Agricultural, Forestal, and Rural Residential Areas (Chapter 189) – into the Zoning Ordinance.
  
  - Evaluate the regulations for nonconforming uses, lots, and structures (“nonconformities”) along with the “deemed special use” status to include review for conformity with State Code requirements (P19) – Committee has reviewed this issue – direction on some items has been provided to Staff and other items remain under review pending comments from the County Attorney or additional information from Staff.
  
- Upcoming Meetings Scheduled: Several of the upcoming meetings are dedicated to the discussion of a single large or complex issue. The Committee will be discussing the smaller policy and technical issues throughout the meeting schedule.

- #8, Wednesday, February 28 (2:00PM) – Evaluate current permitted, accessory, and special uses in each County zoning district (excluding Berryville Annexation Area districts) (P27)
  - #9, Wednesday, March 14 (2:00PM) – Evaluate regulations for tenant houses, dwellings less than 600 square feet, and barn/accessory apartments (P26)
  - #10, Wednesday, April 11 (2:00PM) – Evaluate site plan/subdivision plat review processes (T17)
  - #11, Wednesday, April 25 (2:00PM) – Continued review of policy and technical issues
  - #12, Friday, May 4 (following Planning Commission Business Meeting) – Consider adding new regulations and a definition for “agritourism” (P18)
  - #13, Wednesday, May 23 (2:00PM) – Complete review of policy and technical issues
- Staff Items In Process:
    - Development of “process maps” for each review process in the Zoning and Subdivision Ordinance – to be completed by March 30
    - Initial development of the Guidance Manual outline
    - County Attorney review of previous policy issues



# Clarke County Planning Commission

AGENDA – Business Meeting

Friday, March 2, 2018 – 9:00AM

Berryville/Clarke County Government Center – Main Meeting Room

1. Approval of Agenda
2. Approval of Minutes
  - a. January 30, 2018 Work Session
  - b. February 2, 2018 Business Meeting
3. Resolution of Appreciation – Jon Turkel

## Continued Public Hearing – Major Subdivision

4. **S-17-01, Peter O. & Melanie M. Hitchen.** Request approval of a five-lot major subdivision for the property identified as Tax Map #30-A-65, located in the 4000 block of John Mosby Highway, White Post Election District zoned Agricultural Open-Space Conservation (AOC).

## Minor Subdivision

5. **MS-18-01/MLSE-18-01, Stuart Properties LLC.** Request approval of a two lot Minor Subdivision and Maximum Lot Size Exception for the property identified as Tax Map #28-A-44, located at 26 Carters Line Rd across from 862 White Post Road in the White Post Election District zoned Agricultural Open-Space Conservation (AOC).

## Certificate of Appropriateness

6. **CA-18-01, Core States Group (McDonald's Corporation).** Request approval for a Certificate of Appropriateness to alter the existing McDonald's structure by renovating the façade located at 8152 John Mosby Highway identified as Tax Map 29-A-2A, zoned Historic Access Corridor Overlay District (HC) and Highway Commercial (CH).

## Board/Committee Reports

7. Board of Supervisors (Mary Daniel)
8. Board of Septic & Well Appeals (George Ohrstrom, II)
9. Board of Zoning Appeals (Anne Caldwell)
10. Historic Preservation Commission (Doug Kruhm)
11. Conservation Easement Authority (George Ohrstrom, II)
12. Broadband Implementation Committee (Mary Daniel)

## Other Business

## Adjourn

**UPCOMING MEETINGS**

Ordinances Committee – Wednesday, February 28, 2018 (2:00PM)
Comprehensive Plan Committee – Friday, March 2 (10:00AM or following Planning Commission Business meeting)
Ordinances Committee – Wednesday, March 14, 2018 (2:00PM)
April Work Session – Tuesday, April 3, 2018 (3:00PM)
April Business Meeting -- Friday, April 6, 2018 (9:00AM)

# Clarke County

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**PLANNING COMMISSION  
WORK SESSION MINUTES -- DRAFT  
TUESDAY, JANUARY 30, 2018**



A work session of the Planning Commission of Clarke County, Virginia, was held at the Berryville/Clarke County Government Center, Berryville, Virginia, on Tuesday, January 30, 2018.

## **ATTENDANCE**

**Present:** Robina Bouffault; Randy Buckley (Vice-Chair); Anne Caldwell; Bob Glover; Scott Kreider; Douglas Kruhm; Frank Lee; Gwendolyn Malone, Cliff Nelson; and George L. Ohrstrom, II (Chair).

**Absent:** Mary Daniel

**Staff Present:** Brandon Stidham, Planning Director; Ryan Fincham, Senior Planner/Zoning Administrator

## **CALLED TO ORDER**

Mr. Stidham called the meeting to order at 3:00PM. Chair Ohrstrom introduced new Planning Commissioner Bob Glover who was recently appointed by the Board of Supervisors to fill Jon Turkel's unexpired term representing the Millwood District. Mr. Glover provided information on his background and Chair Ohrstrom welcomed him to the Commission.

## **AGENDA**

The members approved the agenda by consensus as presented.

## **REVIEW OF AGENDA ITEMS FOR FEBRUARY 2, 2018 BUSINESS MEETING**

Mr. Fincham provided an update on the status of the Hitchen major subdivision application that was deferred by the Commission in January at the applicant's request. He noted that the primary unresolved issue is the slope of the proposed private access easement which exceeds the maximum slope allowed by the Ordinance. He said that he invited the applicant and their engineer to attend the work session to discuss this issue with the Commission but they chose not to attend. Chair Ohrstrom said that he continues to have concerns with the applicant's use of the smaller driveway instead of making the larger driveway located across from the crossover as the private access easement for the subdivision. He asked whether the larger driveway would meet the County's slope requirements if it were used as the subdivision road and Mr. Fincham replied that he has no information on the design of that driveway or comments about it from the Virginia Department of Transportation (VDOT). Mr. Fincham then reviewed the design regulations in §8-J-2 of the Subdivision Ordinance including language in §9-E that allows the Commission to vary the regulations in certain circumstances. Chair Ohrstrom said that he has visited the site and noted that future traffic leaving the proposed subdivision

entrance and attempting to reach the crossover to go westbound would be in a potentially unsafe situation. He added that he prefers the driveway at the crossover to be used for the subdivision entrance and he does not favor relaxing the slope requirements for the private access easement in its proposed location. Mr. Lee asked if there is a deceleration lane at the crossover and Mr. Fincham said that there is one but did not know the dimensions. Ms. Bouffault said that she continues to be opposed to a 10% slope and the proximity of the two property entrances. Mr. Stidham asked VDOT and the County engineering consultant about whether there are any safety issues with requiring the 8% slope and they replied that it is driven entirely by cost. Ms. Bouffault said that at a larger slope there is increased risk of gravel runoff from the private access easement into the public roadway. Mr. Lee asked if the entrance would be paved and Mr. Fincham replied yes. Chair Ohrstrom said that the applicant has requested an additional one month deferral because they have unresolved items and that the Commission can address these issues on Friday if the applicant or their engineer shows up to discuss. Mr. Lee said that he thinks the applicant should be held to the 8% slope and several of the Commissioners agreed.

## **OLD BUSINESS ITEMS**

### Progress Report, Ordinance Update Project

Mr. Stidham reviewed the new monthly report that he will be generating for the Commission and Board of Supervisors on the Ordinance Update project. Ms. Bouffault asked if the issue of AirBNB vacation rentals will be addressed. Mr. Stidham replied that the Committee addressed it through the home occupation regulations discussion and is recommending the Board adopt a registry for short-term rentals that is now allowed under State code. Mr. Lee added that the Committee also looked at rules to ensure that septic system capacity is reviewed for these uses. Mr. Stidham noted that the Committee has established a meeting schedule through the end of May.

## **NEW BUSINESS ITEMS**

### Resolution of Appreciation – Jon Turkel

Mr. Stidham reviewed the draft Resolution of Appreciation for Jon Turkel and asked if members had any additions or corrections. Ms. Caldwell suggested that in the 6<sup>th</sup> whereas, the express bicycle lanes should be described as being “between Winchester and River Road.” She also suggested in the 7<sup>th</sup> whereas to say that Mr. Turkel should “enjoy biking and skiing adventures.” Mr. Kruhm suggested in the 6<sup>th</sup> whereas that Ms. Caldwell’s language should be “between River Road and Winchester.” Mr. Stidham said that he would make these changes and have a final version for the Commission on Friday.

## **OTHER BUSINESS**

None



The meeting was adjourned by consensus at 3:22PM.

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George L. Ohrstrom, II (Chair)

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Brandon Stidham, Planning Director

# Clarke County

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## PLANNING COMMISSION REGULAR MEETING MINUTES -- **DRAFT** FRIDAY, FEBRUARY 2, 2018

A regular meeting of the Planning Commission of Clarke County, Virginia, was held at the Berryville/Clarke County Government Center, Berryville, Virginia, on Friday, February 2, 2018.

### ATTENDANCE

**Present:** George L. Ohrstrom, II, Chair; Anne Caldwell, Vice Chair; Robina Bouffault; Randy Buckley; Bob Glover; Doug Kruhm, Mary Daniel; Scott Kreider; Frank Lee; Gwendolyn Malone; and Cliff Nelson.

**Staff Present:** Brandon Stidham, Planning Director; Ryan Fincham, Senior Planner/Zoning Administrator; and Debbie Bean, Recording Secretary.

### CALLED TO ORDER

Chair Ohrstrom called the meeting to order at 9:04 a.m.

### APPROVAL OF AGENDA

The Commission voted to approve the revised Agenda with the addition of the Resolution of Appreciation for Jon Turkel.

**Yes:** Bouffault, Buckley, Caldwell, Daniel, Glover, Kreider, Kruhm, Lee, Malone (seconded), Nelson (moved), and Ohrstrom

**No:** No one

### APPROVAL OF MINUTES

The Commission voted to approve the briefing meeting minutes of November 28, 2017.

**Yes:** Bouffault (seconded), Buckley, Caldwell, Daniel, Kreider (moved), Kruhm, Malone and Nelson

**No:** No one

**Abstained:** Glover, Lee and Ohrstrom

The Commission voted to approve the regular meeting minutes of December 1, 2017 with one typing correction.

**Yes:** Bouffault (moved), Buckley, Caldwell (seconded), Daniel, Kreider, Kruhm, Lee, Malone, Nelson, Ohrstrom and Turkel

**No:** No one

**Abstained:** Glover

The Commission voted to approve the briefing meeting minutes of January 3, 2018.

**Yes:** Bouffault (moved), Buckley, Caldwell, Daniel, Kreider, Kruhm (seconded), Lee, Malone, and Ohrstrom

**No:** No one

**Abstained:** Glover and Nelson

### **Continued Public Hearing - Major Subdivision Application**

#### **S-17-01 - Major Subdivision**

**Peter O. and Melanie M. Hitchen request approval of a five-lot major subdivision for the property identified as Tax Map #30-A-65, located in the 4000 block of John Mosby Highway, White Post Election District zoned Agricultural Open-Space Conservation (AOC).**

Mr. Fincham gave a brief presentation on the status of the above proposed major subdivision. He stated that at the January 5, 2018 meeting the Commission voted to continue the public hearing and defer action until the February 2, 2018 Business meeting. He said that the applicant provided revised engineered plans on December 28, 2107 which were routed to the Virginia Department of Transportation (VDOT) and Hurt & Proffitt (County engineering consultant) on the same day. He said that Mark Cline (Hurt & Proffitt) provided review comments on January 23, 2018 and Bobby Boyce, (VDOT) provided review comments on January 24, 2018, which were forwarded to the applicants and their engineer the same day. He said that regarding the revised subdivision road construction plan, Mr. Cline points out that the plans show a maximum grade of 10%, which is in excess of the allowable grade per Clarke County Subdivision Ordinance Section 8-J-2-c-4. He noted that VDOT may have requirements regarding the entrance slope and the portion of the road in the right-of-way area that may also impact the road slope. He stated that Mr. Boyce notes several technical revisions needed on the plans which include a need to “slope the entrance away from Route 50.” He said that Staff is waiting for comments and revisions from the applicant’s engineer regarding the road construction review comments from VDOT and Hurt & Proffitt.

Mr. Fincham stated that the Health Department has reviewed the revised plat and have no further comments. He said that Staff has no further comments for Environmental Inventory and Impact Statement. He stated that Mr. Cline notes that review checklists and E&S bond estimates are needed prior to plan approval. He said that Staff is waiting for comments and revisions from the applicant’s engineer in response to the E&S review comments. He stated that Mr. Cline mentions in both review letters that DEQ stormwater review is required. He said that Staff has received an email from Dustin Staton (DEQ) that states, “We just received a paper copy of the new plan on January 22, and it in the queue for review.” He stated that the applicant is working directly with DEQ. He said that Staff is waiting for DEQ comments or approval. He stated that Staff recommends continuing the advertised public hearing and deferring action on the request until the Planning Commission Business meeting on March 2, 2018.

Commissioner Caldwell said she remembers the Commission asking for road profile and other information regarding the existing entrance across from the Route 50 crossover and to make sure it had been properly approved by VDOT. Mr. Fincham said that Staff did not ask for that information specifically but did ask the applicant why that entrance was not considered and asked VDOT if it had been approved. He said that the applicant informed Staff that the entrance was only to be used for the main house located on the remainder lot so that it would not share an entrance with the new lots, and the applicant did not wish to

utilize it for the subdivision. He stated that in discussions with VDOT it appeared the entrance was approved for a private entrance which is different than the requirements for a subdivision, but nothing was received in writing. Commissioner Kruhm asked if this subdivision entrance turns out to be dangerous, then is that a VDOT issue. Mr. Fincham replied yes. Commissioner Bouffault asked if Staff could obtain a statement in writing from VDOT stating that the distance between the two entrances meets their standards. Mr. Fincham noted that verbally it has been confirmed and that if it did not meet their standards then it would have been noted in the two comment letters provided by VDOT. Commissioner Daniel stated that if it is not in writing then it never happened. Chair Ohrstrom requested that Mr. Fincham obtain the answers to the Commissions questions in writing, and Mr. Fincham said that he would.

The Commission voted to continue the public hearing and defer action on this request until the March 2, 2018 Planning Commission Business meeting.

**Yes:** Bouffault (moved), Buckley, Caldwell, Daniel (seconded), Glover, Kreider, Kruhm, Lee, Malone, Nelson, and Ohrstrom

**No:** No one

### **Board/Committee Reports**

#### **Board of Supervisors (Mary Daniel)**

Commissioner Daniel stated that the organizational meeting of the Board of Supervisors (BOS) was held on January 16, 2018. She said that David Weiss was elected to continue as Chair of the BOS and Bev McKay was elected to continue to serve as Vice Chair of the BOS for 2018. She said that the budget process is well underway and we will be getting things in writing within the next few weeks. She said that VDOT is going to be installing no parking signs on some of the roads in the County where it is obvious that people should not be parking there. She said that tickets will be given for parking in these areas and if that does not work the car will be towed. She stated that she was recently was appointed as liaison to the Josephine Museum.

#### **Board of Septic & Well Appeals (George Ohrstrom, II)**

No Report.

#### **Board of Zoning Appeals (Anne Caldwell)**

Commissioner Caldwell said that the Board of Zoning Appeals approved an application for a setback variance for adding a deck on the property located at 1555 Lockes Mill Road.

#### **Historic Preservation Commission (Doug Kruhm)**

Commissioner Kruhm stated that the Historic Preservation Commission has two new members. Kathleen Berger and Terri Catlett (Board of Supervisors Liaison).

#### **Conservation Easement Authority (George Ohrstrom, II)**

Chair Ohrstrom said that the awards luncheon was held on January 18, 2018 for Mr. Melvin Kohn. He stated that Mr. Kohn owns a property off of Ebenezer Road in the County. He said that Mr. Kohn put the property in easement after his wife died and he now wants to gift it to the County to be used as a recreational park. He said that a wonderful article was written about this in the Winchester Star.

**Resolution of Appreciation – Jon Turkel**

Chair Ohrstrom introduced Bob Glover as the new Planning Commissioner who is taking over the position of Jon Turkel who resigned in December 2017. He read the Resolution of Appreciation to the Commission for Jon Turkel.

The Commission voted to approve this Resolution of Appreciation.

**Yes:** Bouffault, Buckley, Caldwell (seconded), Daniel, Glover, Kreider, Kruhm (moved), Lee, Malone, Nelson and Ohrstrom

**No:** No one

On motion by Commissioner Malone and seconded by Commissioner Kreider the meeting was adjourned at 9:38 a.m.

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George L. Ohrstrom, II, Chair

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Brandon Stidham, Director of Planning

Minutes prepared by Debbie Bean, Recording Secretary

**MAJOR SUBDIVISION (S-17-01)**

**Coquette Estates Subdivision**

**Peter O. and Melanie M. Hitchen (Owners)**

**March 2, 2018 Planning Commission Meeting**

**SUPPLEMENTARY STAFF REPORT #3 -- Department of Planning**

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The purpose of this staff report is to provide information to the Planning Commission to assist them in reviewing this proposed major subdivision. It may be useful to members of the general public interested in this proposed subdivision.  
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**Case Summary**

**Applicant(s):**

Peter and Melanie Hitchen

**Location:**

- Subject property is located in the 4000 block of John Mosby Highway
- Tax Map Parcel #30-A-65
- White Post Election District (Bouffault and Buckley)

**Zoning District**

Agricultural-Open Space-Conservation (AOC)

**Request:**

Approval of a five-lot Major Subdivision for the property identified as Tax Map #30-A-65 located in the 4000 block of John Mosby Highway in the White Post Election District zoned Agricultural Open-Space Conservation (AOC).

**Case Update:**

The Public Hearing was continued and the request was deferred at the February 2, 2018 Commission meeting pending unfinished reviews of several items. The County Engineering Consultant, Mark Cline (Hurt & Proffitt) provided review comments on January 23, 2018, and Bobby Boyce, (VDOT) provided review comments January 24, 2018, which were forwarded to the applicant and their engineer the same day. There have been no further revised technical plans submitted for review.

**Access:**

The applicant has informed Staff that his intention is to submit plans that meet the road design slope requirements in §8-J-2 of the Subdivision Ordinance, and his engineer is working on those revisions as well as needed changes for VDOT. The Commission requested that Staff ask Bobby Boyce several specific questions regarding the entrances on the property which were answered via email and are provided in the packet. *Staff awaits comments and/or revisions from the applicant's engineer regarding the road construction review comments from VDOT and Hurt & Proffitt.*

**Erosion and Sediment Control:**

Regarding the erosion and sediment control plan, along with technical plan revisions, Mr. Cline notes that review checklists and E&S bond estimates are needed prior to plan approval. *Staff awaits*

*comments and revisions from the applicant's engineer in response to the E&S plan review comments.*

Stormwater Management:

Mr. Cline mentions in both review letters that DEQ stormwater review is required. Staff received a forwarded email from Dustin Staton (DEQ) on February 20, 2018 that states, "Currently it is second in line for review. I should have comments before the end of the month." The applicant is working directly with DEQ. *Staff awaits DEQ comments or approval.*

**Recommendation:**

**Staff recommends continuing the advertised public hearing and deferring action on the request until the April 6, 2018 Commission meeting.**

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**History:**

November 3, 2017	Complete Application filed with the Department of Planning.
November 28, 2017	Plans Review Committee met and reviewed the plat.
December 1, 2017	The Planning Commission voted unanimously to defer action on the Major Subdivision request (per applicant's request) and continue the public hearing for one month to the January 5, 2018 meeting.
January 3, 2018	The Planning Commission voted unanimously to defer action on the Major Subdivision request (per applicant's request) and continue the public hearing for one month to the February 2, 2018 meeting.
February 2, 2018	The Planning Commission voted unanimously to defer action on the Major Subdivision request (per applicant's request) and continue the public hearing for one month to the March 2, 2018 meeting.
March 2, 2018	Placed on the Commission's meeting agenda for continued advertised public hearing.

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RE: Clarke County - US Route 17/50 - Coquette Estates

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From : Boyce, Arthur (VDOT) <Bobby.Boyce@VDOT.Virginia.gov> Wed, Feb 21, 2018 03:55 PM  
Subject : RE: Clarke County - US Route 17/50 - Coquette Estates 3 attachments  
To : 'Ryan Fincham' <rfincham@clarkecounty.gov>  
Funkhouser, Rhonda (VDOT)  
Cc : <Rhonda.Funkhouser@VDOT.Virginia.gov>, Smith, Matthew, P.E.  
(VDOT) <Matthew.Smith@vdot.virginia.gov>

Ryan,

My comments/answers are in red below. I need to check with Rhonda on permit for the existing entrance at the crossover. What was the owners name?

Thanks,

Bobby

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**From:** Ryan Fincham [mailto:rfincham@clarkecounty.gov]  
**Sent:** Thursday, February 15, 2018 3:14 PM  
**To:** Boyce, Arthur (VDOT)  
**Subject:** Re: Clarke County - US Route 17/50 - Coquette Estates

I have been asked by Commissioners about the response to this email below. Could you take a look?

Ryan Fincham,  
Senior Planner & Zoning Administrator  
Clarke County, Virginia  
(540) 955 - 5131

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**From:** "Ryan Fincham" <rfincham@clarkecounty.gov>  
**To:** "Boyce, Arthur (VDOT)" <Bobby.Boyce@VDOT.Virginia.gov>  
**Sent:** Tuesday, February 6, 2018 10:05:23 AM  
**Subject:** Re: Clarke County - US Route 17/50 - Coquette Estates

Bobby-

At the Planning Commission meeting last Friday, the Commission members requested that I ask you three specific questions:



1) Even if VDOT cannot require the existing entrance across from the Rt. 50 crossover to be used for the subdivision entrance, is that entrance preferred by VDOT instead of the proposed entrance? **We would prefer that connection since it is at a crossover but the proposed entrance exceeds the minimum spacing standard for access management. A right turn taper deceleration lane would make the entrance safer but is not required at this time based on the volumes.**

2) Does the proposed subdivision entrance meet VDOT safety standards for distance to the other existing entrance and to the the Rt. 50 crossover? **Yes, the minimum center to center spacing of the proposed entrance to the crossover is 470'. The minimum is 425' for a Minor Arterial; ≥ 50 mph; right-in/right-out from a crossover, intersection or commercial entrance.**

3) Was the existing gravel entrance across from the Rt. 50 crossover approved by VDOT and to what standard? **Yes we did. I think it was just a private entrance, but will need to verify and get back to you tomorrow.**

Thanks-

Ryan Fincham,  
Senior Planner & Zoning Administrator  
Clarke County, Virginia  
(540) 955 - 5131

**Clarke County****bstidham@clarkecounty.gov**

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**Fwd: Hitchen: Coquette Estates March Deferral**

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**From :** Ryan Fincham <rfincham@clarkecounty.gov>      Fri, Feb 23, 2018 09:03 AM  
**Subject :** Fwd: Hitchen: Coquette Estates March Deferral  
**To :** 'Brandon Stidham' <bstidham@clarkecounty.gov>

Ryan Fincham,  
Senior Planner & Zoning Administrator  
Clarke County, Virginia  
(540) 955 - 5131

----- Forwarded Message -----  
From: Peter Hitchen <peter@tiltonenterprises.com>  
To: rfincham@clarkecounty.gov  
Sent: Fri, 23 Feb 2018 06:02:54 -0500 (EST)  
Subject: Hitchen: Coquette Estates March Deferral

Hello Ryan:

We formally request that any Planning Commission action on the proposed subdivision, Coquette Estates, be deferred until the April 2018 PC meeting. Thank you for your assistance with this project. With kindest regards, I am

Peter and Melanie Hitchen

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**MINOR SUBDIVISION (MS-18-01) / MAXIMUM LOT SIZE EXCEPTION (MLSE-18-01)  
Stuart Properties, LLC – “Mesilla Farm East”  
March 2, 2018 Planning Commission Meeting  
STAFF REPORT -- Department of Planning**

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The purpose of this staff report is to provide information to the Planning Commission to assist them in reviewing this proposed minor subdivision. It may be useful to members of the general public interested in this proposed subdivision.  
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**Case Summary**

**Applicant(s):**

Stuart Properties, LLC

**Location:**

- Subject property is located at 26 Carters Line Rd across from 862 White Post Road
- Tax Map Parcel #28-A-44
- White Post Election District (Bouffault and Buckley))

**Zoning District and Lot Guidelines:**

Agricultural Open Space-Conservation (AOC)

**Proposed Lot Configurations:**

28.0000 acres - Area of Lot 1

28.0074 acres - Area of Lot 2

56.0074 acres - Area of Tax Map #28-A-44

**Request:**

Approval of a two lot Minor Subdivision and Maximum Lot Size Exception for the property identified as Tax Map #28-A-44, located at 26 Carters Line Rd across from 862 White Post Road in the White Post Election District zoned Agricultural Open-Space Conservation (AOC).

**Staff Discussion/Analysis:**

The applicant is utilizing the properties one allowable maximum lot size exception for the existing pre-1980 house at 26 Carters Line Road.

**Access:**

The ingress/egress for Lot 1 will be the existing driveway shown on the aerial view. The ingress/egress for the Lot 2 is shown on the plat and has been field reviewed by VDOT with the surveyor. Lot 2 also has extensive road frontage. VDOT reviewed the request and has no objection to the proposed subdivision. A permit from VDOT is required for any entrance construction.

**Water and Sewage Disposal:**

Both lots have been field reviewed by the Health Department. Lot 1 currently has an existing septic drainfield for two bedroom capacity to serve the existing house and a proposed 200% reserve area as shown on the plat. Lot is served by public water. Lot 2 will be served by a four bedroom

conventional drainfield and a 100% alternative septic reserve area. Lot 2 will be served by a private well as shown on the plat. VDH is prepared to sign the final plats.

Karst Plan / Resistivity Test:

The resistivity tests have been reviewed and approved by County consultant Dan Rom for the proposed septic areas.

Easement:

The subject property is held by the Clarke County Easement Authority for open space easement as noted in plat note #8, and the plats will be amended to include an approval block for that entity.

**Recommendation:**

Staff recommends approval of a two lot Minor Subdivision and Maximum Lot Size Exception for the property identified as Tax Map #28-A-44, located at 26 Carters Line Rd across from 862 White Post Road in the White Post Election District zoned Agricultural Open-Space Conservation (AOC).

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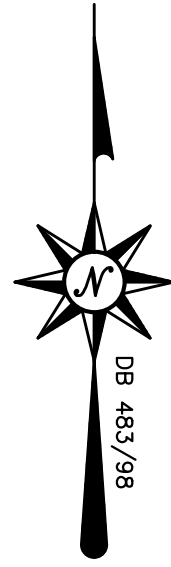
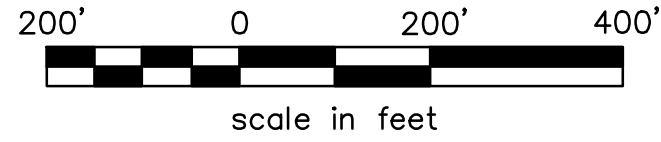
**History:**

- |                  |   |
|------------------|---|
| February 2, 2018 | Complete application filed with the Department of Planning. |
| March 2, 2018    | Placed on the Commission's business meeting agenda.         |

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	1607.02'	295.80'	295.39'	S 52°49'48" W	10°32'47"
C2	6667.00'	387.03'	386.98'	N 43°34'17" E	3°19'34"

LINE	BEARING	DISTANCE
L1	N 58°48'13" E	202.64'
L2	N 85°52'33" E	151.37'
L3	S 75°54'00" E	196.02'
L4	S 78°06'26" E	50.07'
L5	N 24°45'16" E	15.00'

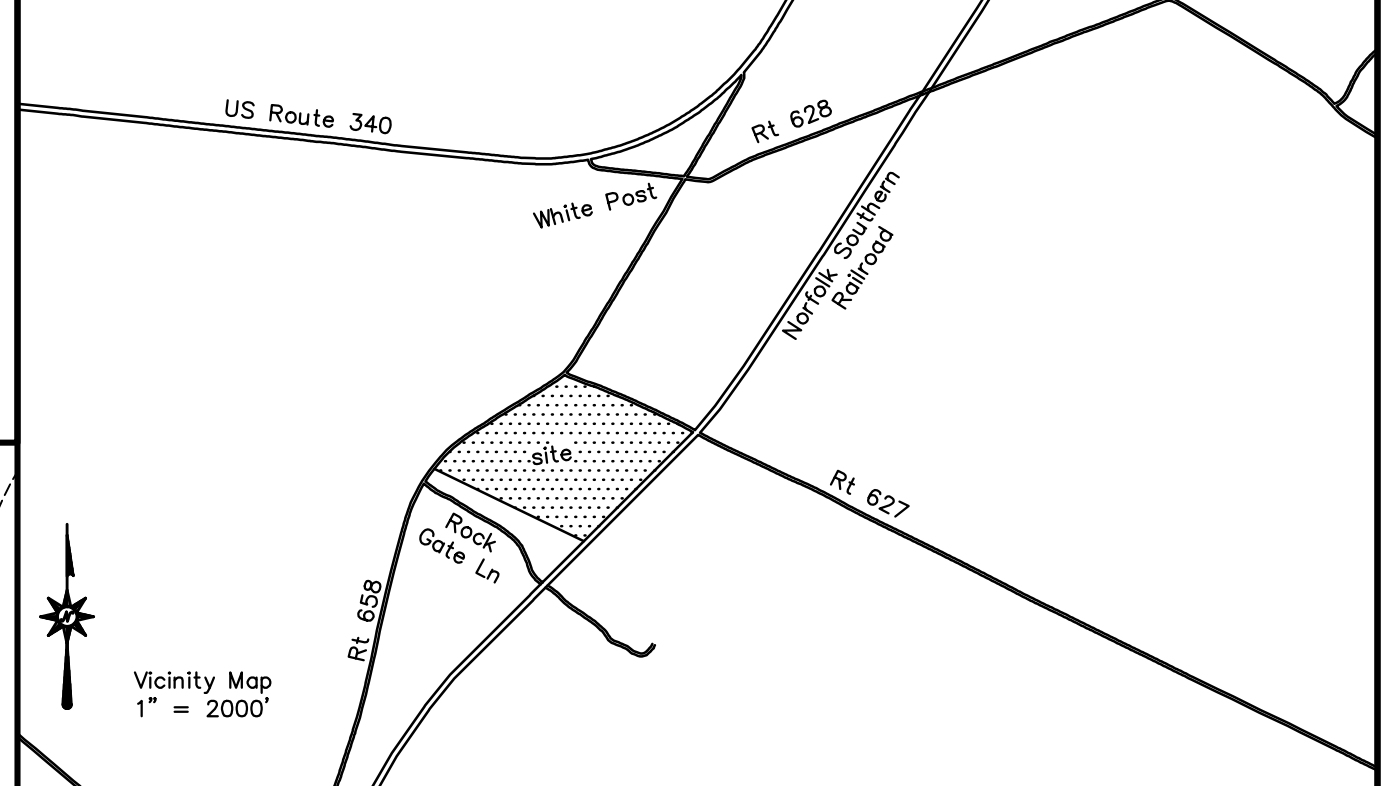


Approval:

Clarke County Zoning Administrator      date: \_\_\_\_\_

Chairman of Planning Commission      date: \_\_\_\_\_

Clarke County Health Department      date: \_\_\_\_\_



**Surveyor's Certificate:** I, W. Stuart Dunn, a duly licensed Land Surveyor in the Commonwealth of Virginia, do hereby certify that the land herein subdivided is in the name of Stuart Properties, LLC, and was acquired as stated in the Owner's Certificate. I further certify that these parcels are properly and accurately described and are within the boundary of the original tract and are referenced to the meridian established as Deed Book 483, Page 98. I further certify that the monuments designated hereon have been set in accordance with the Subdivision Ordinance of Clarke County, Virginia.

W. Stuart Dunn, CLS #2000  
Berryville, Virginia

**Owner's Certificate:** The undersigned fee simple owner hereby certifies that the foregoing Minor Subdivision and Maximum Lot Size Exception of 56.0074 acres, being Tax Map 28-A-44, recorded in the name of Stuart Properties, LLC in deed recorded in Deed Book 293, Page 442, is made with the free consent and in accordance with the desires of the undersigned owner of said land, and trustees if any, and the same is hereby confirmed and submitted for record in the Clerk's Office of the Circuit Court of Clarke County, Virginia.

John Elsea  
for Stuart Properties, LLC  
314 N Braddock St, Winchester, VA 22601

Heather Tweedie  
for Stuart Properties, LLC  
314 N Braddock St, Winchester, VA 22601

Commonwealth of Virginia, City/County of \_\_\_\_\_, to wit: I, \_\_\_\_\_, a Notary Public for said City/County of \_\_\_\_\_, do hereby certify that \_\_\_\_\_, whose name is signed in the Owners' Certificate, have acknowledged the same before me.

My commission expires: \_\_\_\_\_

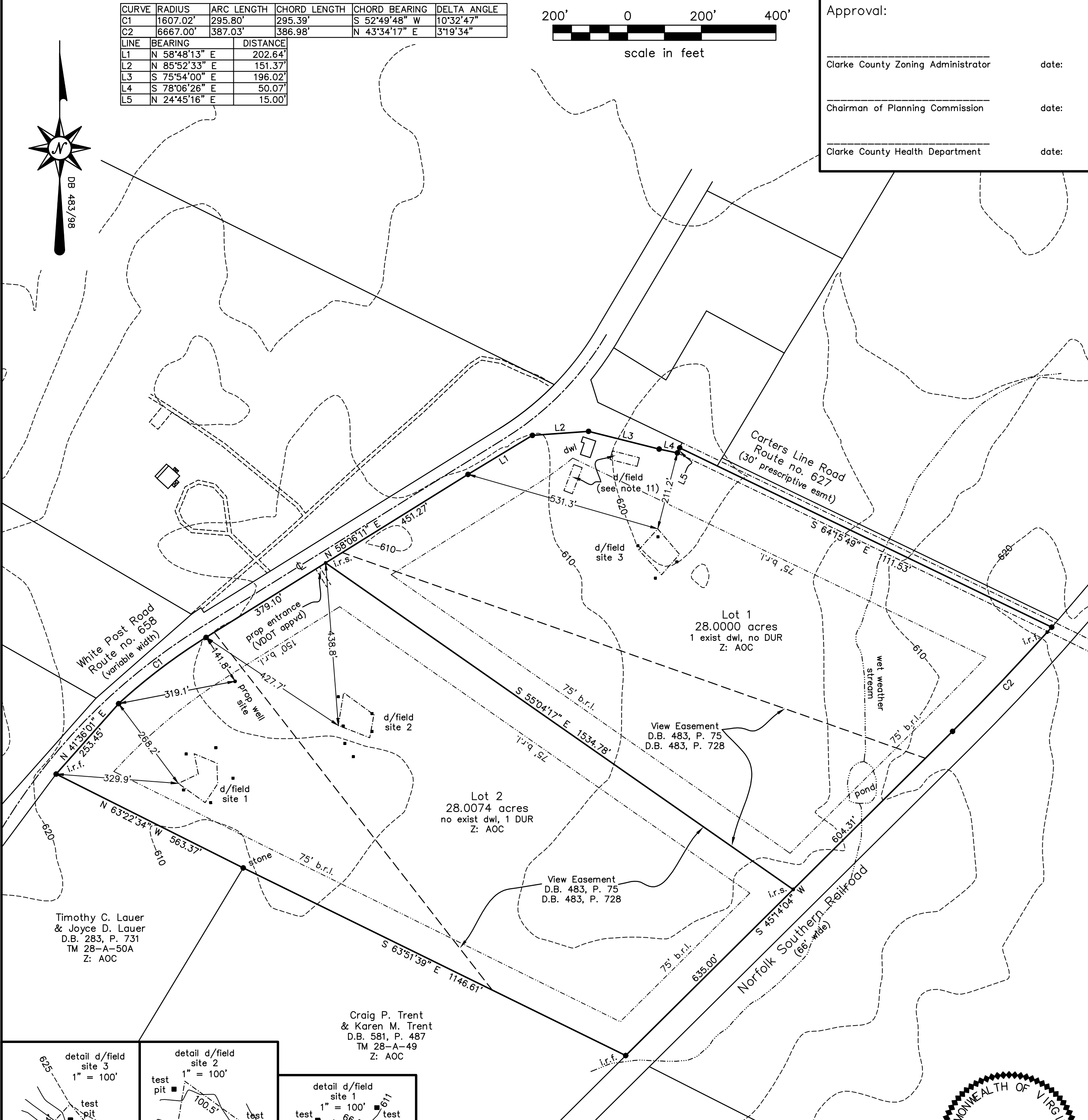
Notary Public: \_\_\_\_\_

Given under my hand this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

Notary Public

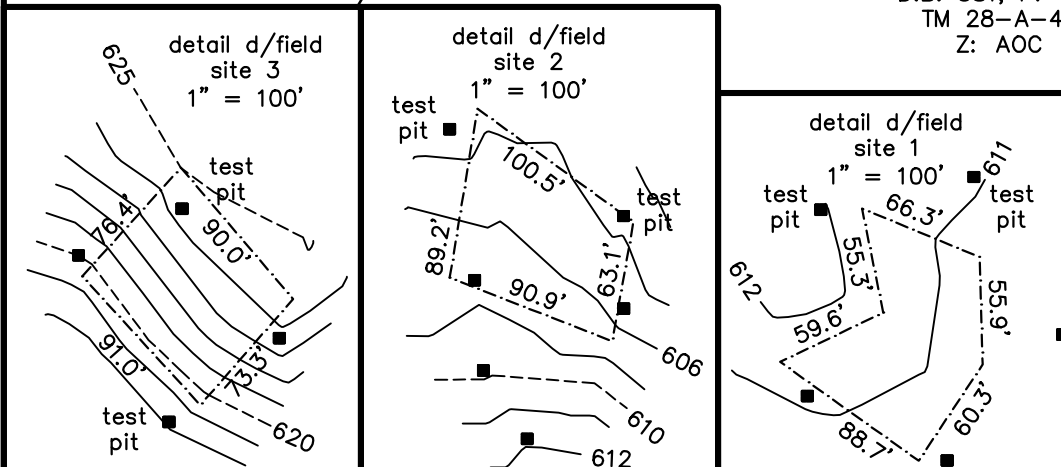
**Notes:**

- (1) Lot 1, 28.0000 acres, has one (1) existing dwelling and no DUR. Lot 2, 28.0074 acres has no existing dwelling and one (1) DUR.
- (2) Setbacks as follows: 150' from the centerline of White Post Road, Route no. 658, and Carters Line Road, Route no. 627 (state scenic byways), 75' all property lines, 50' from any intermittent stream, 100' from any perennial stream, spring and/or sinkhole.
- (3) Tracts are in AOC Zoning District (agricultural - open space - conservation); use is residential/agricultural.
- (4) i.r.s. = iron rod set; i.r.f. = iron rod found; b.r.l. = building restriction line; d./field = drainfield; DUR = dwelling unit right; gpd = gallons per day
- (5) These tracts are in the AOC (agricultural - open space - conservation) zoning district. Agriculture is the primary economic activity of this Zoning District. Owners, residents, other users of property in the AOC district may be subjected to inconvenience, discomfort and the possibility of injury to property and health arising from agricultural operations even though conducted in accordance with best management practices and/or in accordance with existing laws and regulations of the Commonwealth and County. Such agricultural operations may generate noise, odors and dust, may involve the operation of machinery including aircraft, the storage and disposal of manure and the application of fertilizer, soil amendments and pesticides. Owners, occupants and users of land in the AOC District should be prepared to accept such inconveniences or discomfort as a normal and necessary aspect of living in a Zoning District in a County with a strong rural character and an active agricultural sector.
- (6) This land is in Flood Zone X, established from FIRM Community Panel no. 51043C0140D, effective September 28, 2007.
- (7) The 200% Reserve Drainfield Site 3 on Lot 1 has been approved by the Clarke County Health Department for a 3 bedroom alternative system with a maximum capacity of 6 people and 450 gpd. Drainfield site 1, installed conventional system, and Drainfield Site 2, alternative reserve system, on Lot 2 are approved for a 4 bedroom house with a maximum capacity of 8 people and 600 gpd.
- (8) Lots 1 and 2 are subject to the terms and conditions of a Deed of Open Space Easement of the Clarke County Conservation Easement Authority recorded in Deed Book 483, Page 75, confirmed in Deed Book 483, Page 728.
- (9) Before fertilizers and pesticides are used for lawn or landscaping purposes, a soil test should be conducted. The application of such chemicals shall be limited due to the potential for groundwater contamination and should not exceed that determined necessary by the soil test.
- (10) Resistivity tests have been completed on the drainfield sites of Lots 1 and 2. Results of these tests are available at the Clarke County Zoning Department.
- (11) Information available at the Clarke County Health Department shows that Lot 1 is served by public water. The location of the two existing drainfields on Lot 1 was established Clarke County Health Department files.

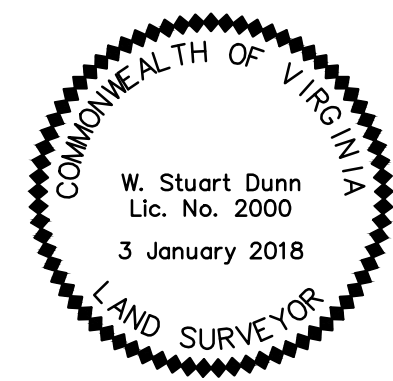


Timothy C. Lauer & Joyce D. Lauer  
D.B. 283, P. 731  
TM 28-A-50A  
Z: AOC

Craig P. Trent & Karen M. Trent  
D.B. 581, P. 487  
TM 28-A-49  
Z: AOC



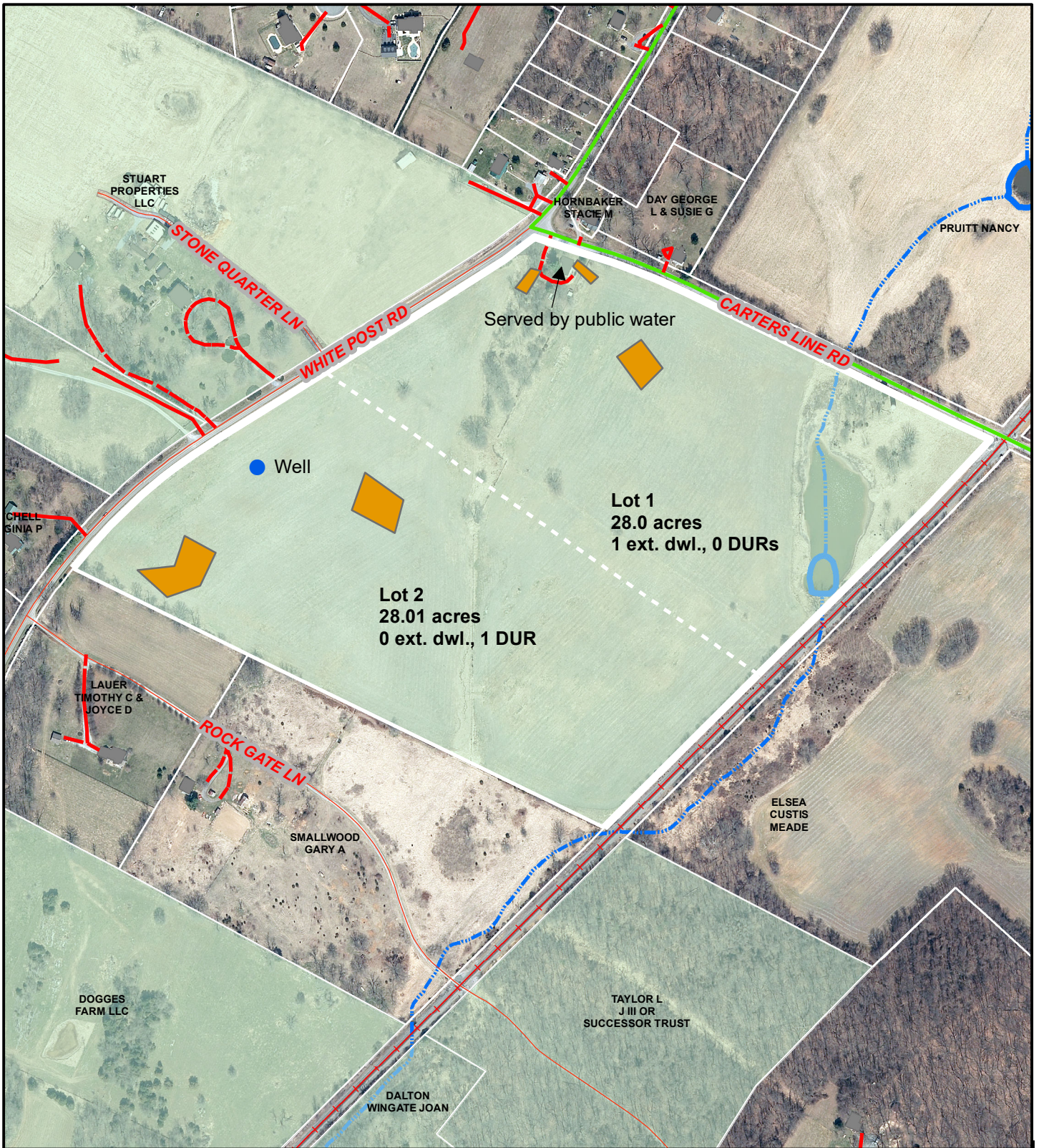
Area Table:		
56.0074 acres	area of TM 28-A-44	(1 existing dwelling, 1 DUR)
28.0000 acres	area of Lot 1	(1 existing dwelling, no DUR)
28.0074 acres	area of Lot 2	(no existing dwelling, 1 DUR)
0.0000 acres	area dedicated for public use	



**Mesilla Farm East**  
Minor Subdivision and Maximum Lot Size Exception  
of the Land of  
**Stuart Properties, LLC**  
Tax Map 28-A-44 Deed Book 293, Page 442  
Greenway Magisterial District, Clarke County, Virginia

Dunn Land Surveys, Inc.  
106 North Church Street  
Berryville, Virginia 22611  
Tel: 540-955-3388  
January 3, 2018

survey no. 846



Mesilla Farm East  
 Stuart Properties, LLC  
 Tax Map# 28-A-44  
 56 acres, 1 ext. dwl., 1 DUR

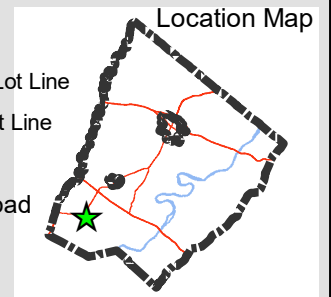


200100 0 200 Feet

Clarke County GIS  
 March 2, 2018

**Legend**

- Parcel Boundary
- Conservation Easements
- Structures
- Drainfield
- Proposed Lot Line
- Existing Lot Line
- Roads
- Private Road





# Lord Fairfax Health District

Clarke County Health Department  
100 North Buckmarsh Street  
Berryville, Virginia 22611  
Tel. (540) 955-1033 ~ Fax (540) 955-4094  
[www.vdh.virginia.gov](http://www.vdh.virginia.gov)



February 13, 2018

Ryan Fincham  
Senior Planner/Zoning Administrator  
101 Chalmers Court  
Berryville, Virginia 22611

**RE: SUBDIVISION PRELIMINARY REVIEW COMMENTS**

Applicant Name: Stuart Properties, LLC  
Health Department I.D. #: 043180019, 043180020  
Subdivision Name: Messilla Farm East  
Section or Phase:  
Tax Map #'s: 28-A-44  
Proposed Lots: 2 Lots

Dear Mr. Fincham,

Pursuant to your written request, we have evaluated the aforementioned minor subdivision proposal, and offer the following comments at this point in the review process.

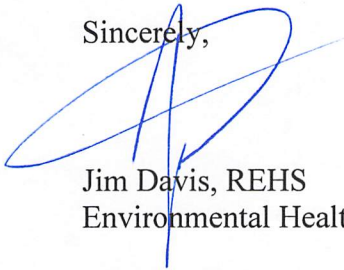
**OWNER/APPLICANT ITEMS:**

1. The applicant has applied for Certification Letters for both proposed lots as required.
2. Proposed Lot 1 (28.0000 acres) on which an existing dwelling sits currently is served by a conventional gravity fed drainfield designed for 2 Bedrooms, 270 gallons per day. There is a construction permit on file dated May 13, 1970 and a record of inspection dated June 18, 1970. The existing drainfield and proposed 200% reserve area (3 bedroom/450 gpd) were field reviewed on February 1, 2018 and no outstanding issues were observed. On February 13, 2018, the soils were field reviewed and no outstanding issues were noted. The proposal for the 200% reserve area utilizes TL-3 treatment to trench dispersal. This lot is served by a public water system.

3. Proposed Lot 2 (28.0074 acres) is vacant. The proposal is for a Certification Letter for conventional drainfield to serve a 4 Bedroom dwelling, 600 gallons per day and a separate 100% Reserve Area utilizing TL3 treatment to trench dispersal. The proposed drainfield and 100% reserve area was field reviewed on February 1, 2018 and no outstanding issues were observed. On February 13, 2018 the soils were field reviewed and no outstanding issues were observed. This lot is to be served by a public water system.
4. This office has received a letter from Clarke County Planning Department dated January 23, 2018 indicating the proposed drainfield sites have passed the required resistivity testing.

This letter does not serve as an approval of the proposed subdivision, or its parts. If you have any questions, please contact me at 540.955.1033

Sincerely,



Jim Davis, REHS  
Environmental Health Supervisor

PC: Stuart Properties, LLC  
Barry R. Hadley, OSE  
Health Department File



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Clarke County - Route 627 Carters Line Road - Stuart Properties, LLC Minor Subdivision and Maximum Lot Size Exception - Tax Map# 28-A-44

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From : Boyce, Arthur (VDOT) <Bobby.Boyce@VDOT.Virginia.gov> Thu, Feb 22, 2018 03:10 PM  
Subject : Clarke County - Route 627 Carters Line Road - Stuart Properties, LLC Minor Subdivision and Maximum Lot Size Exception - Tax Map# 28-A-44 1 attachment  
To : rfincham@clarkecounty.gov  
Smith, Matthew, P.E. (VDOT)  
Cc : <Matthew.Smith@vdot.virginia.gov>, Funkhouser, Rhonda (VDOT)  
<Rhonda.Funkhouser@VDOT.Virginia.gov>

**DEPARTMENT OF TRANSPORTATION**

Staunton/Edinburg Land Development  
14031 Old Valley Pike  
Edinburg, VA 22824

Dear Mr. Fincham:

We have reviewed the above referenced subdivision plat dated January 3, 2018 by Dunn Land Surveys, Inc for impacts to the transportation system. We have no objection to the subdivision however offer the following comments:

The existing 30' prescriptive easement for Route 627 does not allow adequate area for VDOT to properly maintain the existing roadway and/or drainage if needed. A 25' right-of-way dedication from centerline of Route 627 (10' additional feet) should be dedicated to public use for roadway maintenance. The roadway easement could then be subtracted from the overall acreage taxed.

A Land Use Permit shall be obtained before any work is performed on the State's right-of-way. The permit is issued by this office and will require application fees and surety coverage. Once satisfactory application has been made, a permit will normally take 10-20 days to process and issue.

We appreciate the County's efforts to include VDOT in the early planning stages for development and the opportunity to provide comments on this Subdivision of Land. We ask that you include a copy of this official public record in file for the Subdivision. If you have any questions or need further information, please do not hesitate to give me a call.

Sincerely,

*Arthur R. Boyce, III*

Arthur R. Boyce, III  
Land Development Engineer  
Clarke, Frederick, Shenandoah, & Warren Counties  
14031 Old Valley Pike  
Edinburg, VA 22824(540)984-5631

**CERTIFICATE OF APPROPRIATENESS (CA-18-01)**  
**Core States Group (McDonald's Corporation)**  
**March 2, 2018 Planning Commission Meeting**  
**STAFF REPORT -- Department of Planning**

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The purpose of this staff report is to provide information to the Planning Commission to assist them in reviewing this application. It may be useful to members of the general public interested in this application.

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**Case Summary**

**Applicant(s):**

Core States Group (McDonald's Corporation)  
Agent: Jen Adams

**Location:**

- Subject property is located at 8152 John Mosby Highway
- Tax Map Parcel #29-A-2A
- White Post Election District (Bouffault and Buckley))

**Zoning District:**

Highway Commercial (CH)  
Historic Access Overlay Corridor District (HC)

**Request:**

The applicant is requesting approval for a Certificate of Appropriateness to alter the existing McDonald's structure by renovating the façade located at 8152 John Mosby Highway identified as Tax Map 29-A-2A, zoned Historic Access Corridor Overlay District (HC) and Highway Commercial (CH).

**Regulations/Process:**

The applicant has filed an application to amend the site development plan for the aforementioned project. The limited scope of the project warrants the site development plan being reviewed administratively by the Zoning Administrator. Since the project is located in the Historic Access Corridor Overlay District, a certificate of appropriateness must be reviewed and approved for the proposed changes to the building façade and signage as a condition of approval of the site plan amendment. The Planning Commission is the review authority for all certificates of appropriateness in the Historic Access Corridor Overlay District.

**Staff Discussion/Analysis:**

The request was routed to Maral Kalbian, Clarke County's consulting Architectural Historian, for review. Ms. Kalbian's comments were received February 15, 2018 and sent to the applicant via email the same day. The applicant's agent forwarded the comments to their design team and expect to submit a revised plan soon. The agent informed Staff that the computer generated color rendering submitted with the application is a generic example and not accurate to the actual elevations submitted. Unfortunately the elevation plans were not included in the 24" by 36" sized

site plan, and were instead attached to the proposed signage paperwork at only 8.5” by 11” size, which led to difficulty in review. Ms. Kalbian’s review was primarily based on the computer rendering. Staff has requested 24” by 36” sized revised elevation plans for review.

The Planning Commission Plans review Committee held a meeting February 21, 2018 to review the request with Staff and Ms. Kalbian. The Committee offered comments and suggestions which were passed on to the applicant’s agent. The Committee suggested that the applicant defer this request until the April 6, 2018 Commission meeting for ample revision and review time. The applicant’s agent requested that the request remain on the agenda for now, since a revision may be submitted as soon as Monday, February 26, 2018. The agent noted that if revisions and reviews were not satisfied in a timely manner, then a request for deferral may be forthcoming.

Staff is conducting an administrative site plan amendment review concurrently with the Certificate of Appropriateness review by the Commission. The amendment involves replacement of the menu boards and drive thru internal signage, and improvements to the existing accessible pathway to the building to ensure compliance with Federal ADA requirements. The site plan notes no changes to exterior lighting, parking, or landscaping. In addition, the wall signage on the structure is proposed to be changed which will require compliance with the Clarke County Sign Ordinances.

The following are the design standards for structures in the Clarke County Historic Access Corridor Overlay District §3-E-4-e, which were the review criteria used by Ms. Kalbian.

**3-E-4-e Design Criteria for that portion of the Historic Access Corridor Overlay District outside of the boundaries of the Berryville Area Plan.**

**1. Administration**

**a. Purpose and Intent**

The purpose of these Design Criteria is to insure that new or remodeled commercial buildings along arterial highways that are routes of access to designated historic areas in Clarke County are compatible with the character of these historic areas. The purpose is also to establish a coherent commercial identity among these new or remodeled buildings through shared design principles as a common denominator. It is the intent of these Criteria to:

- (1) Accommodate economic growth that will both maximize direct county revenues and minimize the indirect costs of eroding the distinctive rural character of Clarke County;
- (2) Protect private property values and related public investment from the detrimental impacts of indiscriminate and insensitive new construction;
- (3) Anticipate and guard against commonplace and uniform trademark architecture would create anonymous strip developments indistinguishable from those in other parts of the country;
- (4) Maintain the image of Clarke County as seen from its most traveled highways to benefit residents, attract tourists, and interest potential employers;
- (5) Encourage new commercial ventures to produce new architecture compatible with the traditional building forms of Clarke County by recognizing that design principles from the past can both inspire and discipline change for today;
- (6) Provide for an appropriate and attractive yet diverse mix of new buildings that relate to one another in a coherent way by guiding them toward shared design principles without imposing any specific architectural style.

**b. Compliance**

(1) These criteria identify the design elements found in Clarke County buildings that are at least 50 years old and have retained their architectural integrity. The Virginia Department of Historic Resources and the U.S. Department of the Interior use this standard to determine whether or not a structure is considered to be “contributing” to the historic character of a community. The term "contributing buildings," as used here, refers to those buildings that have been identified in The Clarke County Rural Reconnaissance Survey, 1989 & 1993, White Post National Register Nomination, 1986, and Berryville/Boyce/ Millwood Historic Districts Survey, 1985, all surveys prepared according to the standards established by the Virginia Department of Historic Resources.

(2) These criteria shall be followed to the greatest extent possible, as determined by the review board, given the physical nature of a specific site and its intended use. Although achieving compliance with all these criteria is desired, the review board may use its discretion in determining an application's degree of compliance, as long as a proposed design is consistent with the purpose and intent of these criteria.

## **2. Architectural Style and Form**

a. Historic design elements of contributing buildings found in Clarke County should be the basis for proposed designs.

b. The architectural style and form of existing commercial buildings should be retained. New commercial construction, including additions to existing buildings, should represent the era in which it is built, while including design elements found on the County’s historical commercial buildings.

c. Design concepts foreign in time and place to Clarke County are inconsistent with the county's architectural character and should not be used. For example, a building that imitates a Bavarian cottage, Spanish mission, Asian pagoda, Polynesian village, Tudor mansion, or New England sea shanty bears no relationship to the history or architecture of Clarke County. A building that exhibits many design elements present in Clarke County but nonetheless gives the overall appearance of caricature or exaggeration is also not acceptable.

d. Form should reflect function. New commercial buildings should not be disguised as residential buildings. Traditional commercial design features should be employed to reflect the new building's function.

e. The facades of large retail structures should be broken into smaller elements that are similar in scale to contributing commercial buildings.

## **3. Height**

Most contributing buildings in Clarke County have no more than two stories with a few structures in Berryville with three stories. New construction should be consistent with this pattern and not exceed three stories.

## **4. Roofs**

a. Contributing commercial buildings in Clarke County have roofs with the following characteristics: flat or shed pitches with front and side parapets or steep pitches (slopes between 8/12 and 12/12) with front or side gables. Roof material is primarily standing seam metal. Roofs are one color, usually dark green or black with dark red and silver also found to a lesser extent.

b. Existing commercial buildings should retain their roof configuration and elements. New commercial construction should use the most common characteristics of contributing commercial buildings: flat or shed roofs with parapets or steeply pitched front or side gable roofs, clad in standing seam metal of one dark color. Parapets should shield, on all sides, any roof-mounted mechanical equipment.

c. Gambrel roofs, true mansard roofs (which conceal an additional story) or other double-pitched roofs should not be used. These roof types are not common in Clarke County. They exist on a few agricultural buildings in the case of gambrel, on a few urban buildings in terms of true mansard, or are a late-20th century phenomenon in the case of other types of double pitched roofs. Fake roof fronts should not be used.

## **5. Exterior walls**

a. Exterior walls of contributing commercial buildings in Clarke County are most commonly clad in horizontal wood siding or stucco. To a lesser extent, red clay brick (painted or unpainted), native limestone, and cinder blocks were used. The same cladding material was typically applied to all sides and all stories of a building. Exposed foundations were usually of native limestone or formed concrete.

b. Existing commercial structures should retain their architectural character by maintaining their exterior wall and foundation materials. For cladding, new construction should use painted horizontal wood siding, stucco, red clay brick (painted or unpainted: solid red, not variegated), or limestone. Although use of authentic materials is encouraged, some modern alternative materials like hardi-plank for siding, split-face block for stone, or synthetic stucco for true stucco, can be used. Lesser quality materials like vinyl or aluminum siding should not be used.

c. No more than two cladding materials should be used on any building. No more than one cladding material should be used on any story of a building. Cladding materials should be uniform on all sides of a building. Stone should be natural local limestone.

d. Aside from buildings of unpainted red clay brick or native limestone, exterior wall colors of contributing buildings are characteristically painted white or off-white, and occasionally light gray or light yellow. Exterior wall color is different from and contrasts with roof color. Trim is usually painted white or matches the accompanying dark roof color. Typically, only two or three colors, including roof color, are used on a building. In new construction, such colors and patterns should be used. Naturally stained wood siding should not be used.

e. All building elevations should include the principal design features and materials used on the front of the building, so not to look like the rear of the building.

## **6. Windows and Doors**

a. Windows and doors of contributing buildings in Clarke County are most commonly arranged in symmetrical and orderly relationships. Windows and doors at entrance levels of such buildings are square or rectangular.

b. The pattern and character of windows and doors on existing commercial buildings should be retained. Windows on new commercial buildings should include storefronts with large expanses of glass, and raised panels below the display windows. Windows with small panes are found primarily in residential buildings, not in commercial buildings, and should not be used. A structure's primary entrance should be off the front sidewalk, with additional entrances from parking lots to the side and rear of the structure as needed.

## **7. Structural Details**

Building elements of contributing commercial buildings in Clarke County were generally functional. Structural details should be retained on existing buildings. Building elements in new construction should also be functional. Porches or awnings were typically added to many contributing commercial buildings and are encouraged. Shutters were not used for commercial storefront display windows and should not be used. Lighting was typically installed to serve the

function of illuminating building entrances, walkways, driveways and/or parking. Light fixtures should be placed for a functional purpose and not installed for decorative reasons, such as above or within awnings. When used, brackets should support roof elements, porches and awnings should shelter doors and windows, etc. When used on more than one side, building details should not vary and should be applied consistently.

**RECOMMENDATION**

Defer action on the request for a Certificate of Appropriateness to alter the existing McDonald’s structure by renovating the facade located at 8152 John Mosby Highway identified as Tax Map 29-A-2A located in the Historic Access Corridor Overlay District (HC) zoned Highway Commercial (CH). CA-18-01

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**History:**

February 2, 2018	Complete application filed with the Department of Planning.
February 21, 2018	Reviewed by the Plans Review Committee
March 2, 2018	Placed on the Commission’s business meeting agenda.

Date: February 14, 2018

To: Ryan Fincham, Senior Planner and Zoning Administrator

From: Maral S. Kalbian; Clarke County Consulting Architectural Historian

Re: McDonald's Store at Waterloo; 8152 John Mosby Highway

I reviewed the Proposed Exterior Elevations for the improvement to the McDonald's Store in Waterloo dated January 8, 2018, in order to determine whether they comply with the Clarke County Historic Access Overlay District Design Guidelines.

While the proposed design meets many of the Design Criteria set forth in the Zoning Ordinance (3-E-4e), there are a few design elements that do not appear to be consistent with the Design Criteria. These include guarding against commonplace and uniform trademark architecture; architectural style and form, roofs, and exterior wall treatment. I have listed the specific areas that do not comply and have suggested ways that the design could be amended in order to meet the Criteria.

1. Architectural Style and Form: The County guidelines state that "Historic design elements of contributing buildings found in Clarke County should be the basis for proposed design." (3-E-4-e-2a). The submitted elevation does not appear to draw from the design elements found in historic commercial architecture in Clarke County, but rather appears to be a stock design that would make it indistinguishable from other McDonalds throughout the nation. The points listed below and suggestions for revision should help make the building more compliant with the Design Guidelines.
2. Roofs: The flat roof with parapet as drawn is an acceptable form for roofs in new commercial buildings. However, the continuous massing of the parapet should be broken up to provide for a less bulky massing of the building. The addition of a stepped parapet on the drive-thru side and an additional one on the east side similar to the one on the front of the building would help in making the building less bulky and more traditional in form. The division of the walls into vertical bays using pilasters could also help alleviate the solid massing of the building.
3. Exterior Wall /Materials: The Design Criteria specify the types of exterior materials found on contributing commercial buildings and which are encouraged to be used. Exterior insulation and finish systems (EIFS) like what is shown in the rendering is not a traditional exterior building cladding found on historic commercial buildings. The use of a more traditional material such as red clay brick would help the design meet the criteria. The foundation could remain exposed concrete.

4. Exterior Walls: The Design Criteria specifically addresses the use of design features on all sides of a building. The drive-thru side of the proposed design unfortunately does not meet this criterion because it has large expanses of blank walls. This west side is a clearly visible elevation and as such should have additional openings as large expanses of blank walls on primary elevations are generally not compatible with contributing commercial buildings in the county. The current building has a glassed vestibule area located just inside the “front” door, which has been removed in the proposed design. This element should be retained or at the very least a series of frieze windows be added toward the top of the wall beneath the cornice that contains the lighting.
  
5. Windows and Doors: Consideration should be given to adding an awning over the front (south) door that is similar to the ones over the drive-thru bays. Traditionally entrances to commercial buildings in the county are sheltered.

Please feel free to contact me if you have any questions.

Sincerely,

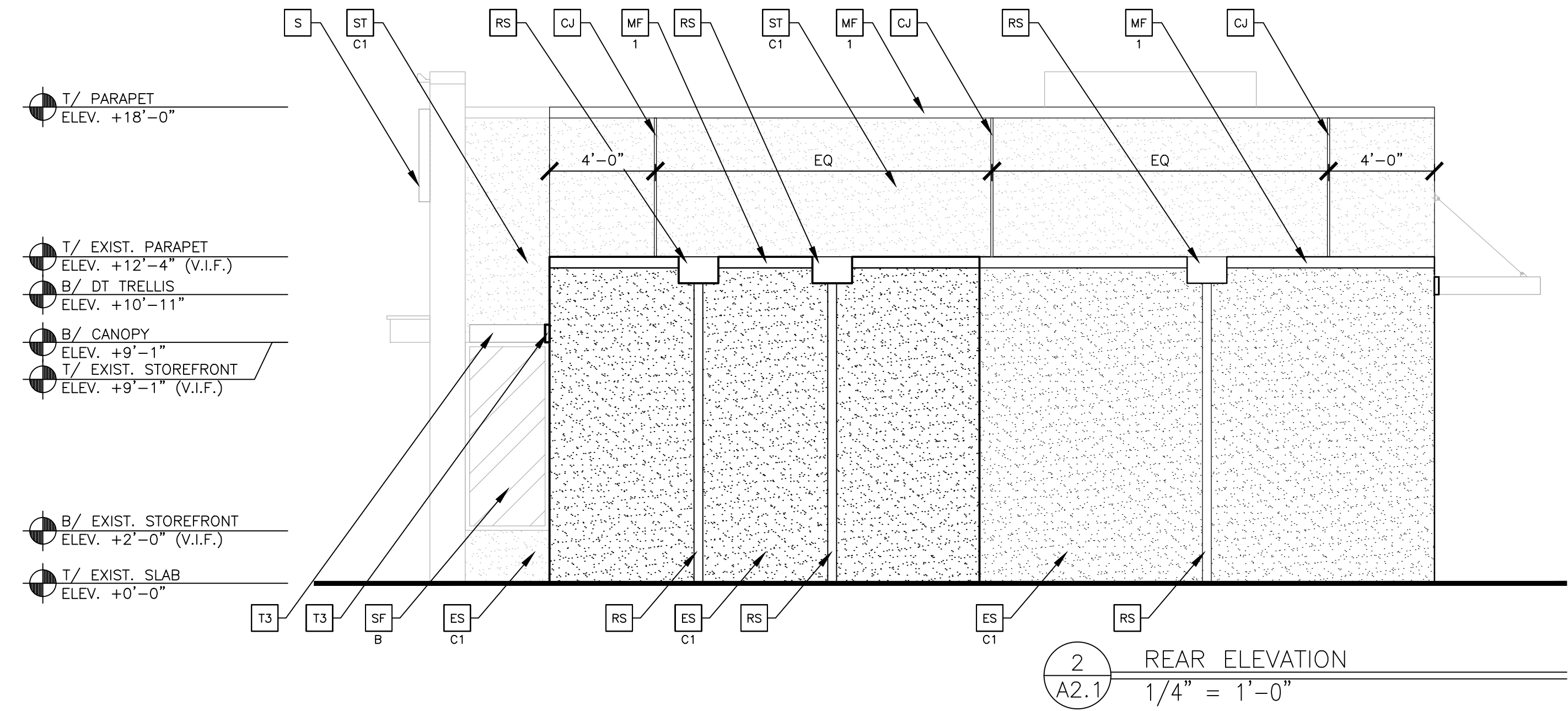
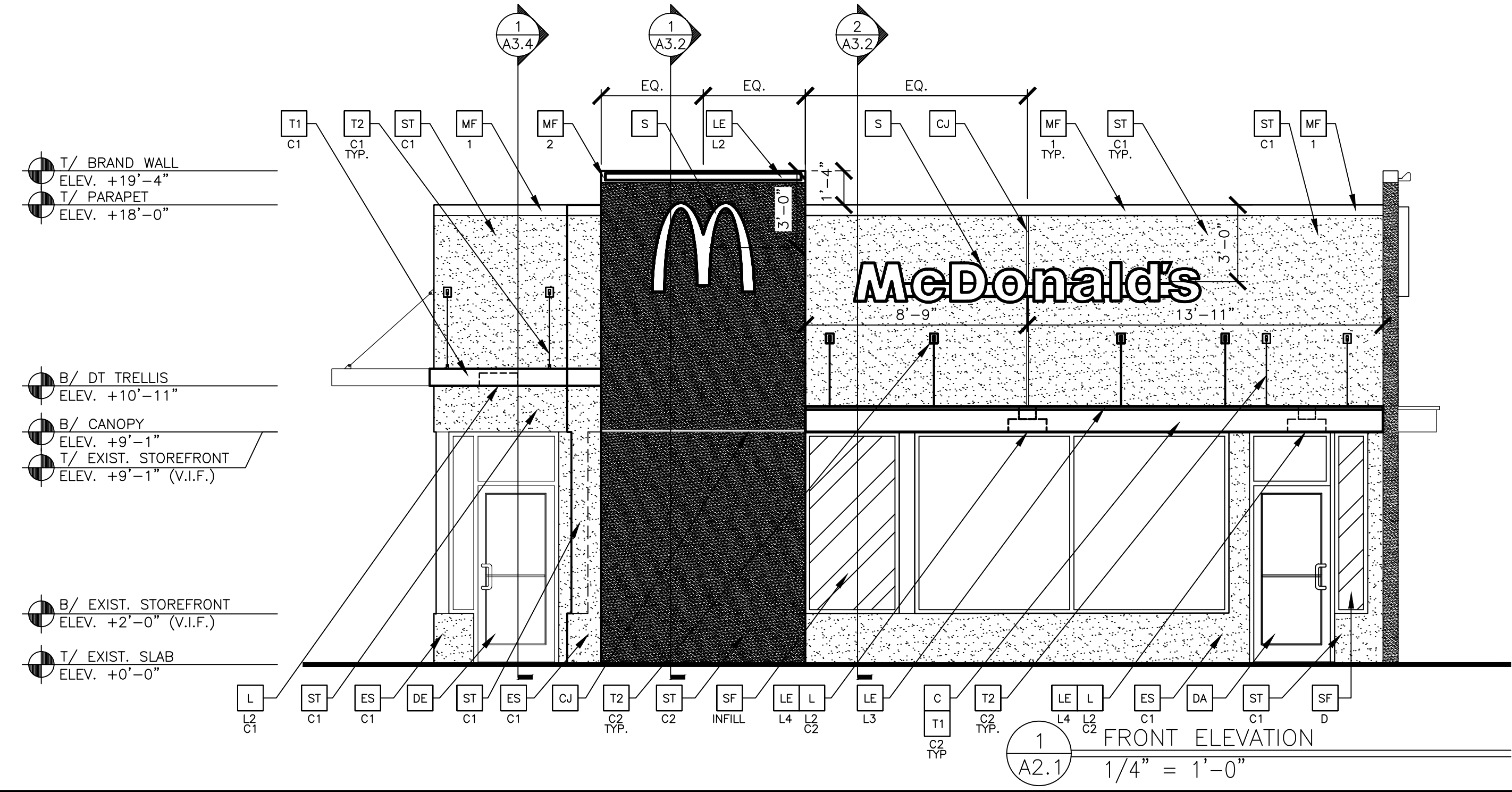


Maral S. Kalbian  
Architectural Historian









**GENERAL NOTES**

1. WHERE WOOD TRIM AND FRIEZE BOARDS HAVE BEEN REMOVED PATCH/REPAIR EXISTING TO MATCH EXISTING ADJACENT STUCCO IN KIND AND PREP FOR PAINTING

**SHOP DRAWINGS**  
SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.

SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT.

DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.

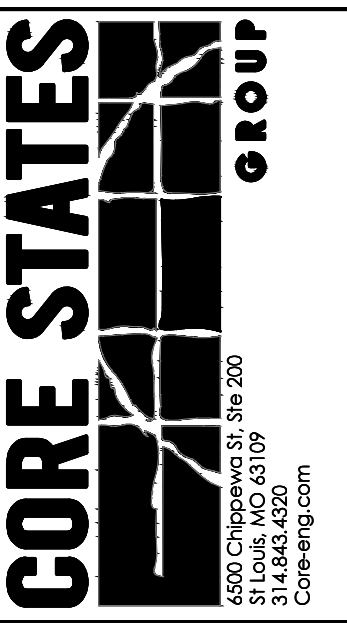
SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:  
1. STOREFRONT GLAZING SYSTEM  
2. TRELLIS/CANOPY SYSTEM

**COLOR SCHEME: 'MODERN SCHEME'**  
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

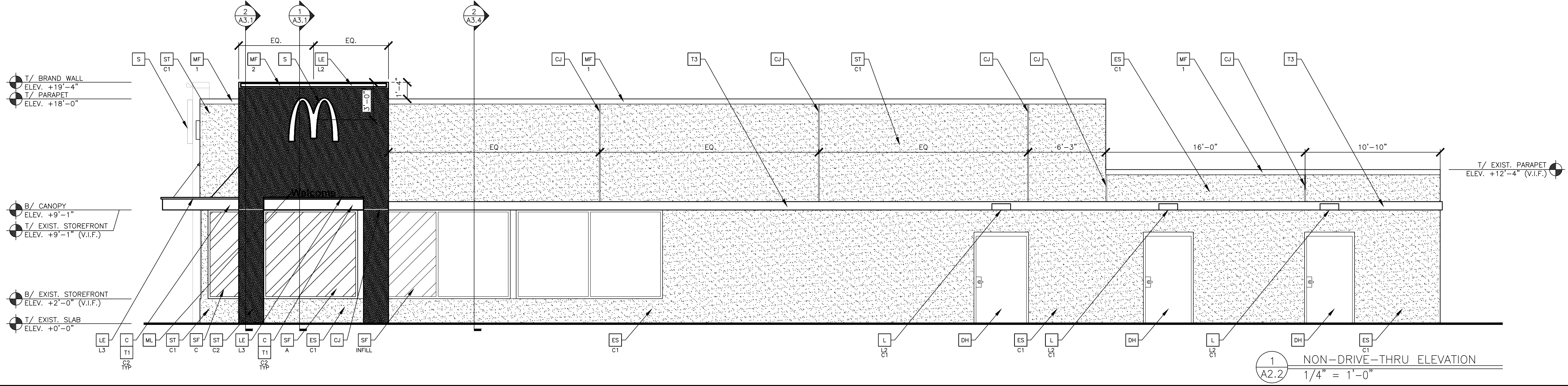
- KEYNOTES (NOT ALL KEY NOTES MAY BE USED)**
- C** ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)
  - CJ** CONTROL JOINT
  - DA** ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
  - DE** EXISTING ALUMINUM DOOR
  - DH** EXISTING HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
  - ES** EXISTING STUCCO VENEER TO BE REPAINTED
  - L** LIGHT FIXTURE - SEE ELECTRICAL  
L1 - TYPE:  
L1 = UP AND DOWN SCOFF  
L2 = DOWN ONLY SCOFF  
L3 = RECESSED DOWN FIXTURE  
COLOR:  
C1 = SILVER  
C2 = WHITE
  - LE** ACCENT LIGHTING - SEE ELECTRICAL  
L1 - LED LIGHT:  
L1 = UP AND DOWN FIXTURE  
L2 = DOWN ONLY FIXTURE  
L3 = INTEGRAL CANOPY FIXTURE  
L4 = FLOOD LIGHT
  - MF** METAL FASCIA - COLOR: C1 = CITYSCAPE  
TYPE:  
1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = PRE-FAB CUSTOM ARCADE FASCIA
  - ML** METAL LETTERING - BY OTHERS
  - RS** NEW SCUPPER BOX AND DOWNSPOUT AT EXISTING PARAPET OPENING
  - S** McDONALD'S SIGNAGE  
TYPE:  
1 - 1 THRU 6 - SEE SIGNAGE PACKAGE
  - SF** STOREFRONT AND GLAZING  
A - WINDOW TYPE
  - ST** STUCCO EXTERIOR FINISH  
XX - COLOR:  
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE  
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
  - T1** ALUMINUM TRELLIS SYSTEM  
XX - COLOR:  
C1 = CITYSCAPE  
C2 = WHITE  
C3 = CHARCOAL  
C4 = GOLD
  - T2** ALUMINUM TRELLIS TIE-BACK SYSTEM  
XX - COLOR:  
C1 = CITYSCAPE  
C2 = WHITE  
C3 = CHARCOAL
  - T3** ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM  
COLOR: CITYSCAPE
  - W2** DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM - MANUAL OPEN, ELECTRONIC RELEASE  
SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT

**NOTES**  
1. STUCCO AND EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

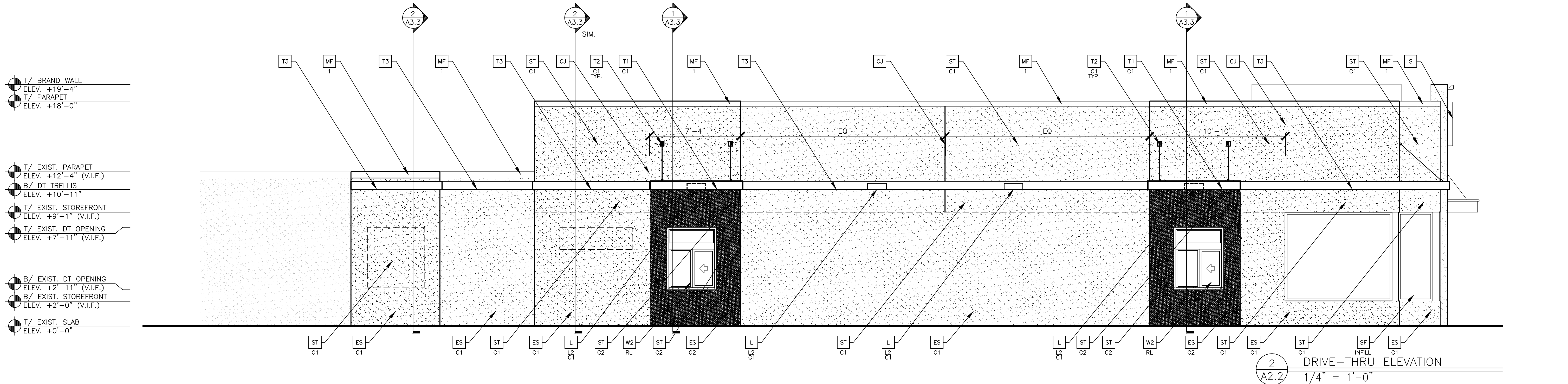
PREPARED BY:	K. TERRY	DATE:	OCT. 2017
REVIEWED BY:	A. KERR - GRANT	DATE ISSUED:	12/06/17
C.S.G. PROJECT #	045-0526	BOYCE, VA 22620	
TITLE	MRP PROGRAM	LOW VOLUME	
DESCRIPTION	EXISTING WOOD WALL CONSTRUCTION EXISTING WOOD ROOF TRUSSES STUCCO ARCADES - FRONT, ENTRY		
SHEET NO.	045-0526		
	<b>A2.1</b>		
	ELEVATIONS		
REV	DATE	DESCRIPTION	BY



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1 NON-DRIVE-THRU ELEVATION  
A2.2 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION  
A2.2 1/4" = 1'-0"

**GENERAL NOTES**

1. WHERE WOOD TRIM AND FRIEZE BOARDS HAVE BEEN REMOVED PATCH/REPAIR EXISTING TO MATCH EXISTING ADJACENT STUCCO IN KIND AND PREP FOR PAINTING

SHOP DRAWINGS  
SHOP DRAWING SUBMITTALS SHALL CONSIST OF A MINIMUM OF 2 COPIES OF EACH DRAWING.

SHOP DRAWINGS SHALL BE REVIEWED BY CONTRACTOR TO VERIFY THAT SUBMITTAL IS COMPLETE PRIOR TO SUBMITTING TO ARCHITECT.

DRAWINGS CREATED BY THE ARCHITECT OF RECORD CANNOT BE REPRODUCED AND/OR USED AS A SHOP DRAWING SUBMITTAL.

SHOP DRAWING SUBMITTALS SHALL INCLUDE THE FOLLOWING:

- STOREFRONT GLAZING SYSTEM
- TRELLIS/CANOPY SYSTEM

**COLOR SCHEME: 'MODERN SCHEME'**  
(SEE ELEVATION KEYNOTES FOR MATERIALS AND COLOR SPECIFICATIONS)

**KEYNOTES (NOT ALL KEY NOTES MAY BE USED)**

- C** ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)
- CJ** CONTROL JOINT
- DA** ALUMINUM DOOR - REFER TO DOOR SCHEDULE FOR DETAILS
- DE** EXISTING ALUMINUM DOOR
- DH** EXISTING HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- ES** EXISTING STUCCO VENEER TO BE REPAINTED
- XX** - COLOR:  
C1 = CHELSEA GRAY HC-168 BY BENJAMIN MOORE  
C2 = IRON MOUNTAIN 2134-30 BY BENJAMIN MOORE
- L** LIGHT FIXTURE - SEE ELECTRICAL  
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TYPE:  
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XX - COLOR:  
C1 = CITYSCAPE  
C2 = WHITE  
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SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT

NOTES  
1. STUCCO AND EIFS CONTROL JOINTS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.

REV	DATE	DESCRIPTION

PREPARED BY: **CORE STATES GROUP**  
 303 South Main Street, 2nd Floor  
 St. Louis, MO 63102  
 314.443.4200  
 corestates.com

PREPARED FOR: **McDonald's USA, LLC**  
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DRAWN BY: K. TERRY  
 STD. ISSUE DATE: OCT. 2017  
 REVIEWED BY: A. KERR-GRANT  
 DATE ISSUED: 12/06/17  
 C.S.G. PROJECT # WCD.233171

TITLE: MRP PROGRAM LOW VOLUME  
 DESCRIPTION: EXISTING WOOD WALL CONSTRUCTION EXISTING WOOD ROOF TRUSSES STUCCO ARCADES - FRONT, ENTRY  
 SITE ADDRESS: 8152 JOHN MOSBY HWY BOYCE, VA 22620

045-0526  
**A2.2**  
 ELEVATIONS

**DESIGN AND DEVELOPMENT CONTACTS:**

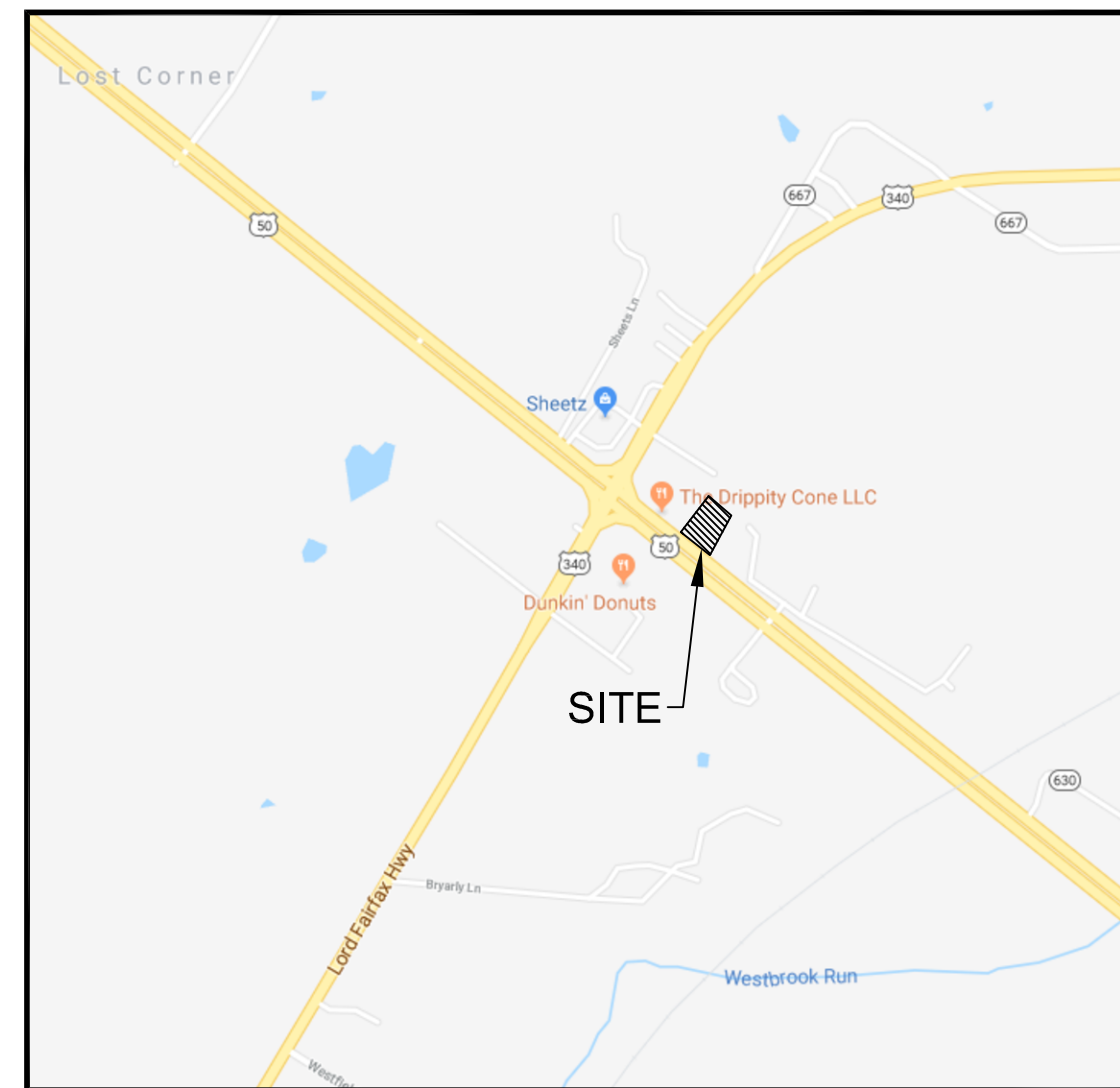
PROPERTY OWNER/APPLICANT: McDONALD'S CORPORATION  
1 McDONALD'S PLAZA  
OAK BROOK, IL 60523  
TEL: (830) 623-3000

CIVIL ENGINEER: CORESTATES, INC.  
12700 HILLCREST ROAD  
SUITE 192  
DALLAS, TX 75230  
CONTACT: THOMAS PICKERING, P.E.  
TEL: (214) 377-6420

ARCHITECT: CORESTATES, INC.  
201 S. MAPLE AVENUE  
SUITE 300  
AMBLER, PA 19002  
CONTACT: ANDREW LEE  
TEL: (215) 609-2125

SURVEYOR: GRS GROUP, LLC  
6703 DELAND COURT  
SPRINGFIELD, NJ 22152  
CONTACT: KEVIN F. STEINHILBER  
TEL: (703) 727-5826

# SITE IMPROVEMENTS FOR McDONALD'S McDONALD'S STORE No.: 045-0526 8152 JOHN MOSBY HIGHWAY CLARKE COUNTY COMMONWEALTH OF VIRGINIA



VICINITY MAP  
1" = 1,000'

SHEET INDEX	
SHEET NUMBER	SHEET NAME
C1	COVER SHEET
C2	GENERAL NOTES
C3	DEMOLITION & EROSION CONTROL PLAN
C4	SITE PLAN
C5	GRADING PLAN
C6-C9	CONSTRUCTION DETAILS
REFERENCE DRAWINGS	
SHEET 1 OF 1	BOUNDARY & TOPOGRAPHIC SURVEY (BY GRS GROUP, LLC)
TOTAL PAGES: 10	

**GENERAL NOTES:**

1. EXISTING CONDITION, INCLUDING PROPERTY LINES, EXISTING UTILITIES, SITE TOPOGRAPHIC WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WERE TAKEN FROM THE BOUNDARY & TOPOGRAPHIC SURVEY ENTITLED:  
  
BOUNDARY & TOPOGRAPHIC SURVEY  
LANDS OF McDONALD'S CORPORATION  
DEED BOOK 245 PAGE 325  
GREENWAY MAGISTERIAL DISTRICT  
CLARKE COUNTY, VIRGINIA  
PREPARED BY: GRS GROUP, LLC  
DATED: 11/15/17
2. ALL PHASES OF THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER/DEVELOPER SITE WORK SPECIFICATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING PAVING AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
4. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
5. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
6. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES ON OR NEAR THE CONSTRUCTION SITE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE FROM DEBRIS AT ALL TIMES DURING CONSTRUCTION.
8. PREVIOUS SITE PLAN REMAINS IN EFFECT EXCEPT AS MODIFIED BY THE PROPOSED REVISIONS.

**PROJECT NARRATIVE:**

THIS PROJECT PROPOSES BUILDING FACADE RENOVATIONS AND IMPROVEMENTS TO THE EXISTING ACCESSIBLE PATHWAY TO THE BUILDING FROM THE ACCESSIBLE PARKING SPACES TO ENSURE COMPLIANCE WITH FEDERAL ADA REQUIREMENTS, AND SUFFICIENT DRAINAGE. IN ADDITION, A SMALL PORTION OF THE EXISTING PARKING LOT DRIVE AISLE WILL BE REPAVED. ALSO BEING PROPOSED IS A REPLACEMENT OF THE EXISTING DRIVE THRU SIGNAGE, MENU BOARDS AND DETECTOR LOOP, NO CHANGES TO EXTERIOR LIGHTING ARE PROPOSED.

**FLOOD NOTE:**

THIS PROJECT PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS IDENTIFIED ON NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP (FIRM) NO. 51043C0130D, EFFECTIVE SEPTEMBER 28, 2007.

PLANNING COMMISSION	DATE
OWNER	DATE
ENGINEER	DATE

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

Know what's below. Call before you dig.

THE CONTRACTOR IS SPECIFICALLY GUARANTEED THAT THE LOCATION AND/OR DEPTH OF ANY UTILITIES SHOWN ON THESE PLANS AND RELATED DOCUMENTS, RECORDS OF THE VIRGINIA UTILITIES COMMISSION, AND OTHER RECORDS MAINTAINED BY THE FIELD, CORE STATES, INC. DOES NOT GUARANTEE THAT UTILITIES WERE NOT DELETED. THE CONTRACTOR SHOULD CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT UTILITIES LOCATIONS OF UTILITIES.

SHEET NO.	TITLE	DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE ISSUED	CSG PROJECT #	REV	DATE	DESCRIPTION	BY
C1	SITE IMPROVEMENTS COVER SHEET	AB	2017	TP	1/8/18	MCD-23371				

**CORE STATES**  
GROUP

12700 HILLCREST ROAD, SUITE 192  
DALLAS, TX 75230  
PHONE: (214) 377-6420  
tpickering@core-eng.com

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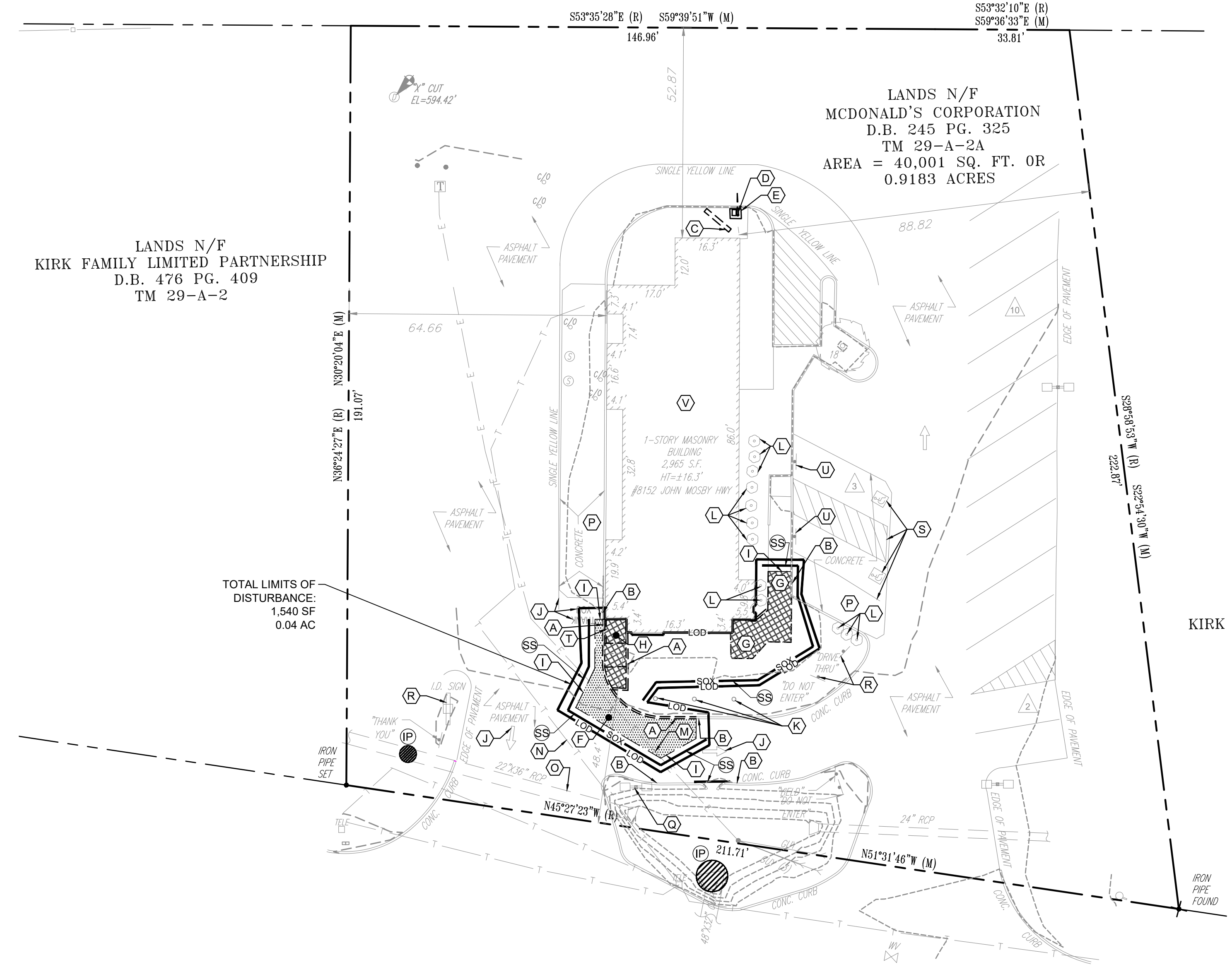


LANDS N/F  
TOMMY D. LARRICK  
D.B. 497 PG. 414  
TM 29-A-1

LANDS N/F  
KIRK FAMILY LIMITED PARTNERSHIP  
D.B. 476 PG. 409  
TM 29-A-2

LANDS N/F  
MCDONALD'S CORPORATION  
D.B. 245 PG. 325  
TM 29-A-2A  
AREA = 40,001 SQ. FT. OR  
0.9183 ACRES

LANDS N/F  
KIRK FAMILY LIMITED PARTNERSHIP  
D.B. 476 PG. 413  
TM 29-A-3



TOTAL LIMITS OF  
DISTURBANCE:  
1,540 SF  
0.04 AC

**SEQUENCE OF CONSTRUCTION:**

**PHASE I**

1. INSTALL TEMPORARY INLET PROTECTION(S) AND SILT SOXX.
2. PREPARE TEMPORARY PARKING AND STORAGE AREA AT LOCATION IN PARKING LOT DESIGNATED BY OWNER.
3. BEGIN DEMOLITION ACTIVITIES HARDSCAPE REMOVAL.
4. START CONSTRUCTION OF SITE IMPROVEMENTS.

**PHASE II**

1. TEMPORARILY SEED OR MULCH, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
2. INSTALL CURB AND PAVEMENT SUBBASE.
3. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
4. PREPARE SITE FOR PAVING.
5. PAVE SITE AND INSTALL SIGNAGE.
6. COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
7. CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN INSPECTION.
8. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE BMP.
9. CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPs HAVE BEEN COMPLETELY INSTALLED.

**DEMOLITION KEY NOTES:**

- A. EXISTING CONCRETE CURB TO BE REMOVED.
- B. EXISTING CONCRETE CURB TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- C. EXISTING MENU BOARD AND FOUNDATION TO BE REMOVED.
- D. EXISTING WELCOME POINT GATEWAY AND FOUNDATION TO BE REMOVED.
- E. EXISTING DRIVE THRU INTERCOM AND FOUNDATION TO BE REMOVED.
- F. EXISTING ASPHALT TO BE REMOVED.
- G. EXISTING CONCRETE SIDEWALK TO BE REMOVED.
- H. EXISTING CONCRETE SIDEWALK RAMP TO BE REMOVED.
- I. SAWCUT LINE.
- J. EXISTING SITE MARKINGS TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- K. EXISTING FLAG POLE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- L. EXISTING BUSHES TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- M. EXISTING ELECTRICAL LINE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- N. EXISTING TELEPHONE LINE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- O. EXISTING STORM SEWER PIPE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- P. EXISTING CONCRETE PAD TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- Q. EXISTING LIGHT POLE TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- R. EXISTING SIGN TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- S. EXISTING ACCESSIBLE PARKING STRIPING TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- T. EXISTING METAL RAILING TO BE REMOVED.
- U. EXISTING ADA PARKING SIGN TO REMAIN, CONTRACTOR TO PROTECT IN PLACE.
- V. EXISTING BUILDING INTERIOR AND FACADE TO BE RENOVATED. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

**DEMOLITION NOTES:**

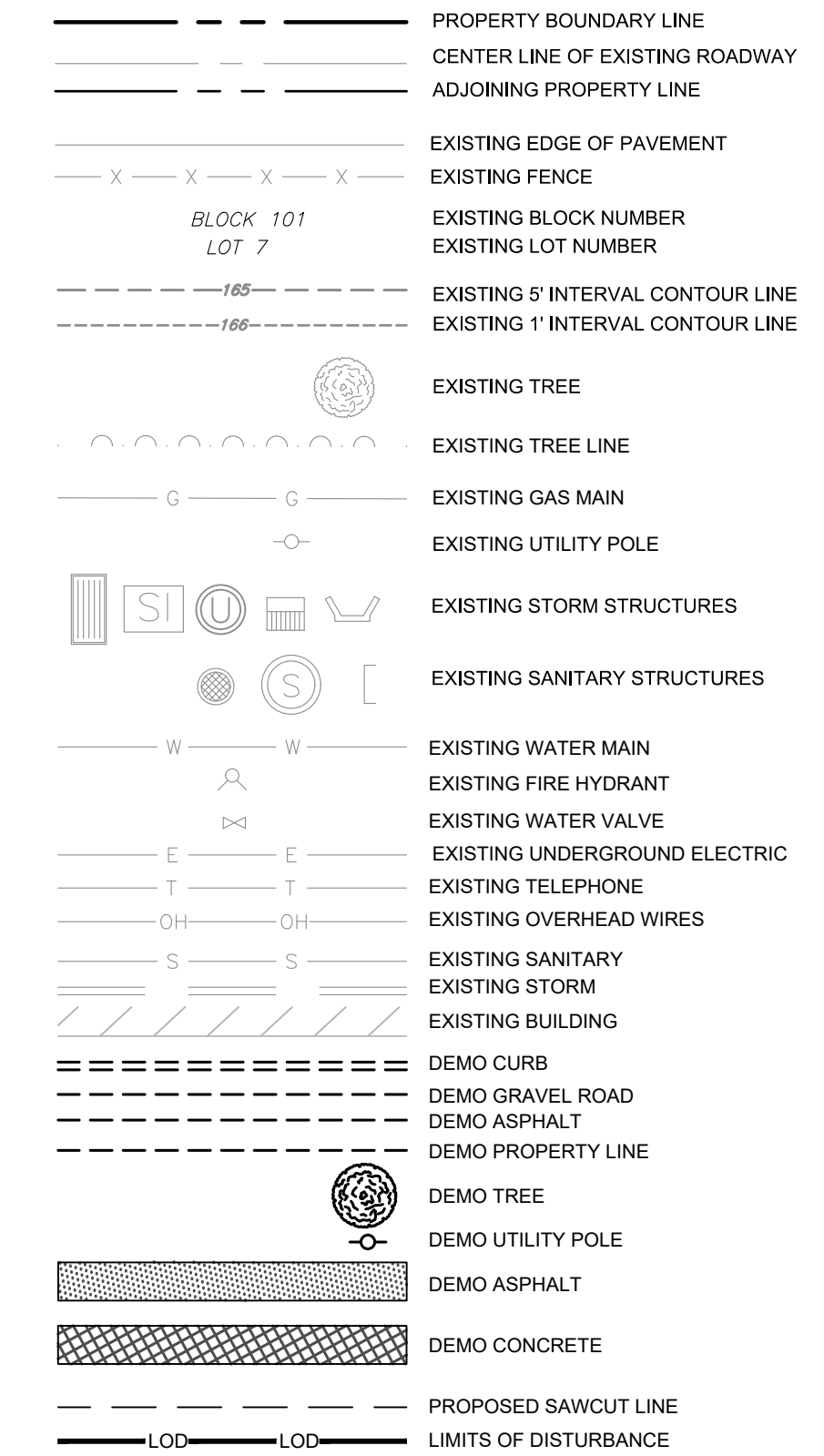
1. REFER TO SHEET C2 FOR GENERAL AND DEMOLITION NOTES.
2. THE TOTAL LIMITS OF DISTURBANCE FOR THIS PROJECT IS 1,540 SF (0.04 AC).
3. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND FOR CALLING THE APPROPRIATE ONE CALL CENTER AT LEAST 72 HOURS IN ADVANCE OF ANY EXCAVATION.

**MAINTENANCE**

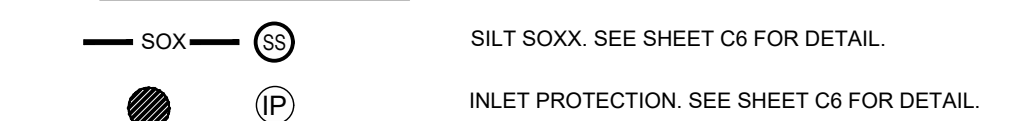
ALL MEASURES STATED ON THIS PLAN SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

1. INLET PROTECTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE INLET PROTECTION WHEN CLOGGING BECOMES APPARENT.
2. SILT SOXX SHALL BE REPAIRED TO THEIR ORIGINAL CONDITION IF DAMAGED.

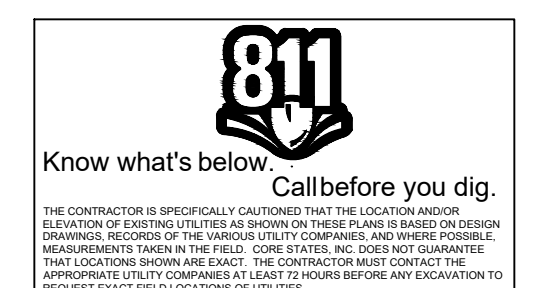
**DEMOLITION LEGEND:**



**E & S LEGEND:**

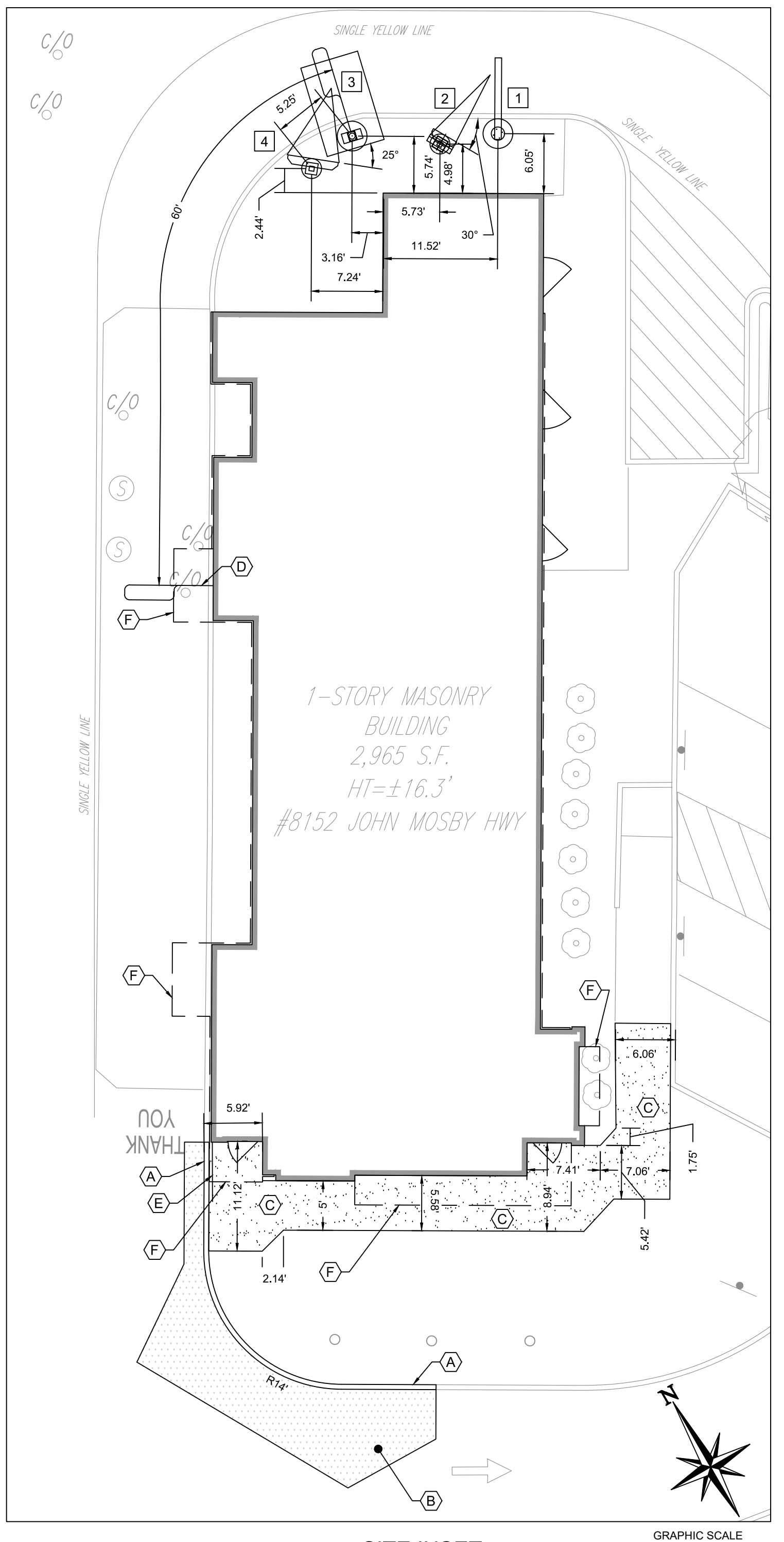
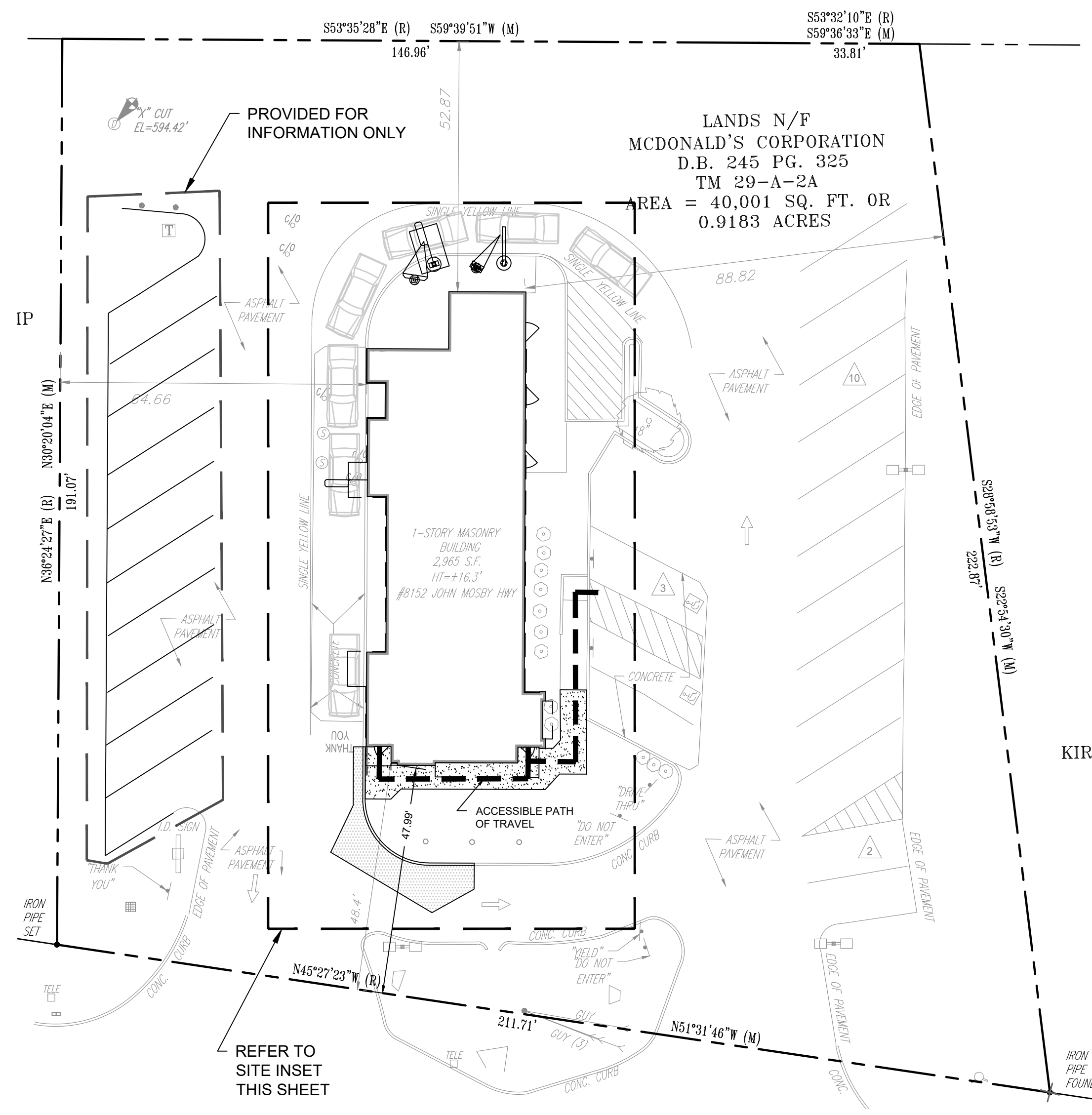


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**McDonald's USA, LLC**  
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SHEET NO.	TITLE	DATE	BY
C3	DEMOLITION & EROSION CONTROL PLAN	1/8/18	



**GENERAL DEVELOPMENT NOTES:**

- MCDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. THE FOUNDATION DESIGN ARE BY OTHERS.
- BASES, ANCHOR BOLTS, CONDUIT AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
- PROPOSED UTILITIES ARE ONLY SHOWN IN SCHEMATIC LAYOUT. EXACT LOCATIONS SHALL BE DETERMINED PRIOR TO CONSTRUCTION. SHOULD THERE BE ANY DISCREPANCIES, THE CONTRACTOR SHALL HALT WORK AND NOTIFY THE ENGINEER OF RECORD.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS OTHERWISE NOTED ON THESE PLANS.
- ALL DIMENSIONS SHOWN ARE TAKEN FROM FACE OF CURB UNLESS OTHERWISE INDICATED.
- ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED.
- EXISTING CONDITIONS ARE BASED ON BOUNDARY & TOPOGRAPHIC SURVEY BY GRS GROUP, LLC DATED 11/15/2017.
- ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING THE SITE UNTIL WORK IS ACCEPTED BY THE OWNER.
- ANY DAMAGE TO THE EXISTING CURB AS A RESULT OF THIS DEVELOPMENT MUST BE REPLACED AS NECESSARY.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND NEW STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF THE CONSTRUCTION.
- ALL NEW BUILDING SIGNAGE WILL COMPLY WITH ZONING REGULATIONS.
- PROVIDE ADEQUATE OFF-STREET PARKING FOR CONSTRUCTION EMPLOYEES. PARKING ON NON-SURFACED AREAS SHALL BE PROHIBITED IN ORDER TO ELIMINATE THE CONDITION WHEREBY MUD FROM CONSTRUCTION AND EMPLOYEE VEHICLES IS TRACKED ONTO THE PAVEMENT CAUSING HAZARDOUS ROADWAY AND DRIVEWAY CONDITIONS.
- ALL QUANTITIES SHOWN ON PLANS ARE APPROXIMATE AND FOR REFERENCE ONLY.
- CONTRACTOR TO VERIFY ALL MINIMUMS CALLED OUT ON THE CIVIL PLANS AND SHALL NOTIFY ENGINEER AND ACM IF MINIMUMS CANNOT BE MET.
- REFER TO SHEET C2 FOR GENERAL NOTES.

**GENERAL NOTES:**

- THIS DRAWING REFERENCES:  
BOUNDARY & TOPOGRAPHIC SURVEY  
LANDS OF MCDONALD'S CORPORATION  
DEED BOOK 245 PAGE 325  
GREENWAY MAGISTERIAL DISTRICT  
CLARKE COUNTY, VIRGINIA  
PREPARED BY: GRS GROUP, LLC  
DATED: 11/15/17
- OWNER/APPLICANT:  
MCDONALD'S CORPORATION  
1 MCDONALD'S PLAZA  
OAK BROOK, IL 60523
- SITE ADDRESS:  
8152 JOHN MOSBY HIGHWAY,  
TOWN OF BOYCE, VA 22620  
CLARKE COUNTY, COMMONWEALTH OF VIRGINIA
- 1) ZONING DATA:  
ZONED: CH - HIGHWAY COMMERCIAL  
LOT 1, ETTA F. GLASSCOCK SUBDIVISION  
EXISTING USE: RESTAURANT (PERMITTED BY RIGHT)  
PROPOSED USE: RESTAURANT (PERMITTED BY RIGHT)
- |                          | REQUIRED                    | EXISTING                    | PROPOSED                    |
|--------------------------|-----------------------------|-----------------------------|-----------------------------|
| MIN. LOT AREA:           | 0.4591 AC.<br>(20,000 S.F.) | 0.9183 AC.<br>(40,001 S.F.) | 0.9183 AC.<br>(40,001 S.F.) |
| MIN. LOT FRONTAGE:       | 100'                        | 211.71'                     | 211.71'                     |
| MIN. FRONT YARD:         | 35'                         | 48.4' (S)                   | 47.99' (S)                  |
| MIN. SIDE YARD:          | 10'                         | 64.66' (W); 88.82' (E)      | 64.66' (W); 88.82' (E)      |
| MIN. REAR YARD:          | 10'                         | 52.87' (N)                  | 52.87' (N)                  |
| MAX. IMPERVIOUS SURFACE: | 85%                         | 73.4%<br>29,354 S.F.        | 73.6%<br>29,454 S.F.        |
| MAX. HEIGHT:             | 40'                         | 16.08'                      | 19.33'                      |
- 2) PARKING REQUIREMENTS:  
THE PROPOSED MCDONALD'S WAS CONSIDERED FOR THIS CALCULATION.  
EXISTING PARKING COUNT IS DERIVED FROM AVAILABLE AERIAL IMAGERY. THE PARKING COUNT FROM PRE TO POST DEVELOPMENT IS UNCHANGED.  
ONE (1) FOR EVERY 60 S.F. PLUS 3 QUEUING SPACES FOR DRIVE-UP WINDOW.  
2,965 S.F. X (1/60 S.F.) = 50 SPACES  
REQUIRED = 50 SPACES
- EXISTING MCDONALD'S AREA PARKING: 27 SPACES (INCLUDING 2 ACCESSIBLE SPACES)  
(EXISTING NON-COMFORMANCE)
- PROPOSED MCDONALD'S AREA PARKING: 27 SPACES (INCLUDING 2 ACCESSIBLE SPACES)  
(EXISTING NON-COMFORMANCE)
- 3) PARKING STALL DIMENSIONS:  
EXISTING: VARIES  
REQUIRED: ACCORDING TO STANDARD ENGINEERING PRACTICE AS DETERMINED BY ZONING ADMINISTRATOR  
PROPOSED: N/A
- 4) ALL EXISTING FEATURES ARE TO REMAIN UNLESS OTHERWISE NOTED.
- 5) PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- 6) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- 7) ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 8) SOLID WASTE TO BE DISPOSED OF BY CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- 9) ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- 10) CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ANY ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.

**SITE KEY NOTES:**

- PROPOSED 6" CONCRETE CURB. REFER TO DETAIL ON SHEET C7.
- PROPOSED ASPHALT PAVEMENT. REFER TO DETAIL ON SHEET C7.
- PROPOSED CONCRETE SIDEWALK. REFER TO DETAIL ON SHEET C7.
- DETECTOR LOOP(S) TO BE INSTALLED / REPLACED AT EXISTING DRIVE THRU WINDOWS AS DIRECTED BY MCDONALD'S CONSTRUCTION MANAGER. REFER TO DETAIL ON SHEET C9.
- PROPOSED WROUGHT IRON FENCE. REFER TO DETAIL ON SHEET C7.
- PROPOSED OVERHANG. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

**SIGN LEGEND:**

- PROPOSED WELCOME POINT GATEWAY.
  - PROPOSED DIGITAL PRE-BROWSE MENU BOARD.
  - PROPOSED DRIVE-THRU SPRINGBOARD CANOPY W/ COD SPEAKER POST.
  - PROPOSED OUTDOOR DIGITAL MENU BOARD (ODMB).
- VERIFY SIGNAGE WITH SIGN ORDER REQUEST FORM, VERIFY LOCATIONS WITH MCDONALD'S REPRESENTATIVE.

**SITE LEGEND**

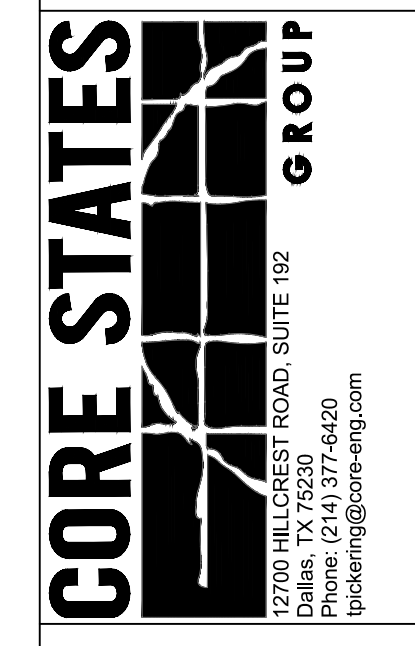
- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- EXISTING ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED DITCH CENTERLINE
- PROPOSED LIMITS OF BMP / DETENTION
- PROPOSED SAWCUT LINE
- LIMITS OF DISTURBANCE
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- EXISTING SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED PARKING COUNT

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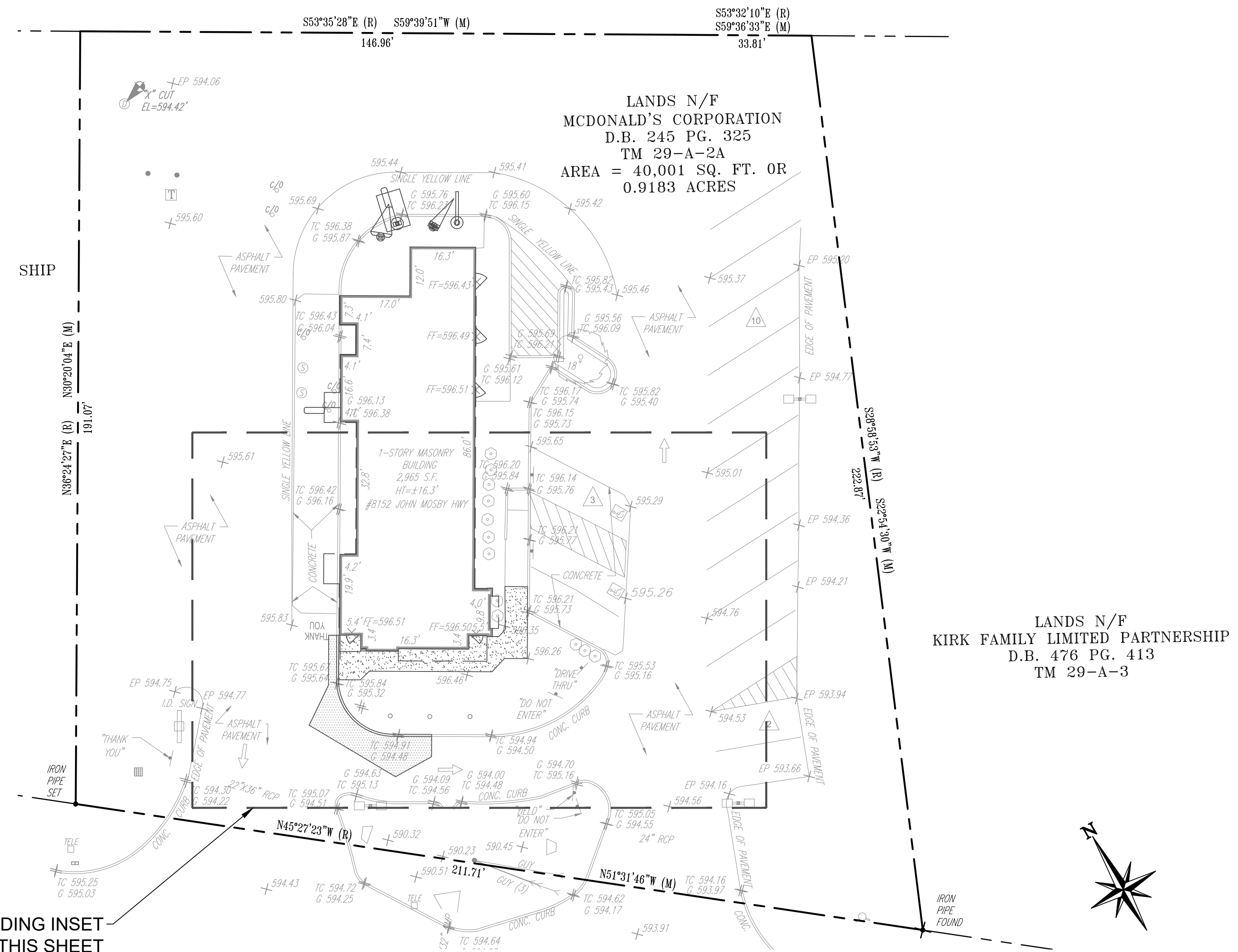
THE CONTRACTOR IS SPECIFICALLY ADVISED THAT THE LOCATION AND/OR DEPTH OF EXISTING UTILITIES SHOWN ON THESE PLANS IS BASED ON RECORD DRAWINGS. RECORDS OF THE TOWN OF BOYCE, VA, AND THE STATE OF VIRGINIA. CORESTATES, INC. DOES NOT GUARANTEE THE LOCATION, DEPTH OR DATE OF THESE UTILITIES. THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT UTILITY LOCATIONS OF UTILITIES.

TITLE	SHEET NO.	DATE	BY
SITE IMPROVEMENTS	AB	2017	
	TP	1/6/18	
SITE PLAN	AB	2017	
	TP	1/6/18	
SITE ADDRESS	8152 JOHN MOSBY HIGHWAY, BOYCE, VA 22620		
SHEET NO.	C4		
PROJECT #	MCD-23371		

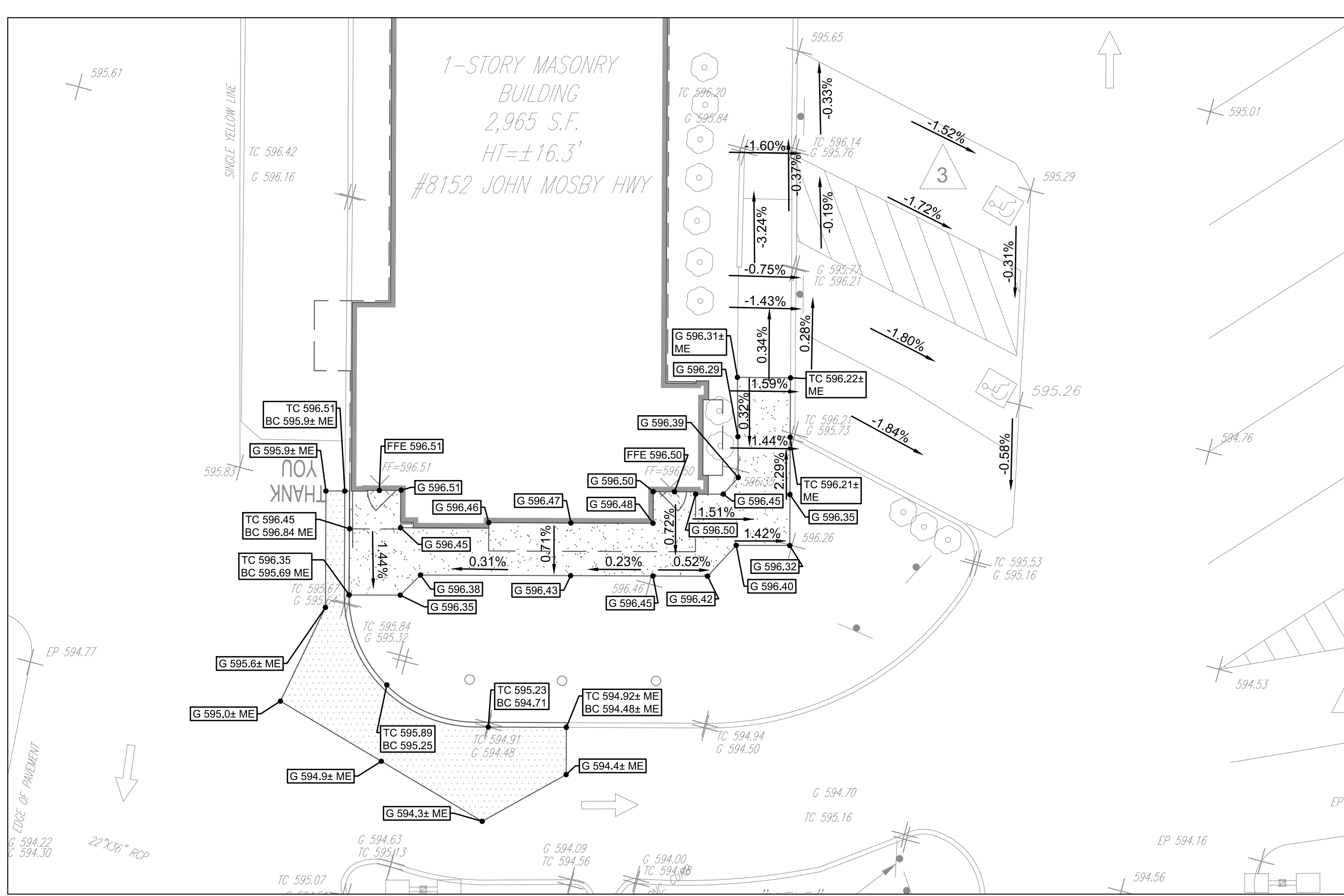


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REFER TO SIDEWALK GRADING INSET THIS SHEET

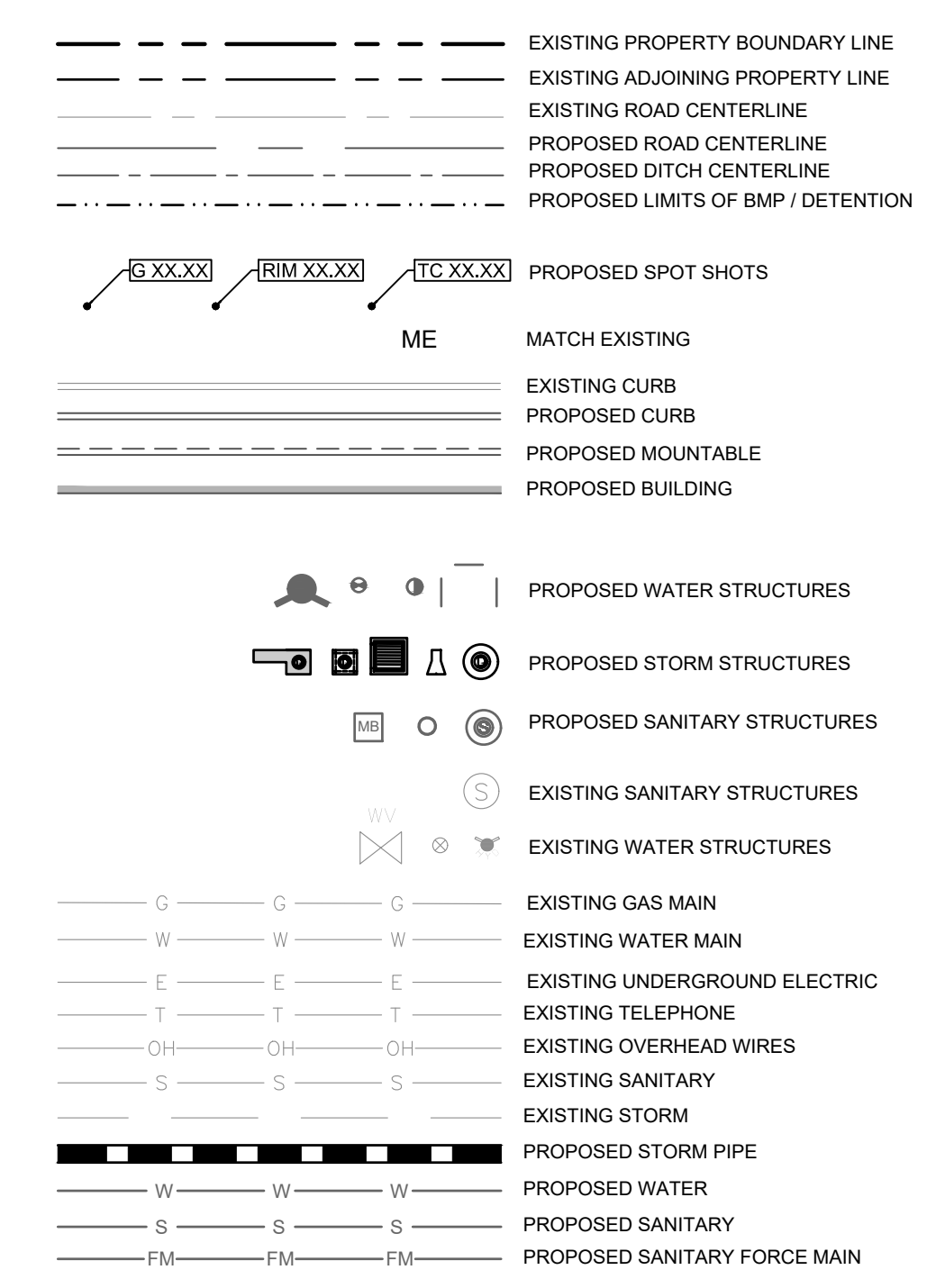


SIDEWALK GRADING INSET  
SCALE: 1"=10'

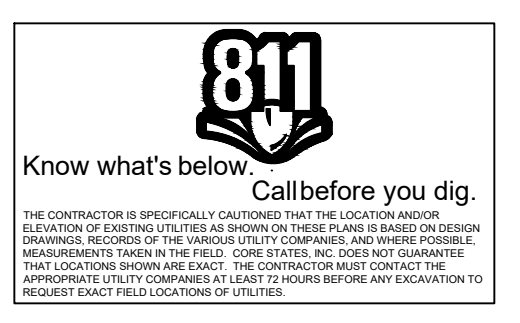
**GRADING AND UTILITY NOTES:**

- REFER TO SHEET C2 FOR GENERAL PAVING AND GRADING, AND UTILITY NOTES.
- EXISTING SEWER LATERALS TO REMAIN UNCHANGED FOR PROPOSED BUILDING CHANGES.

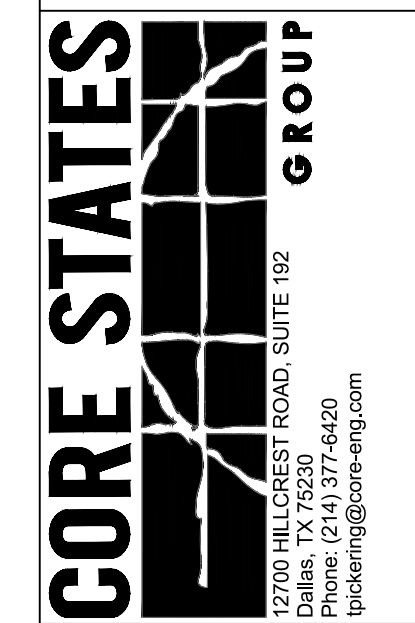
**GRADING LEGEND**

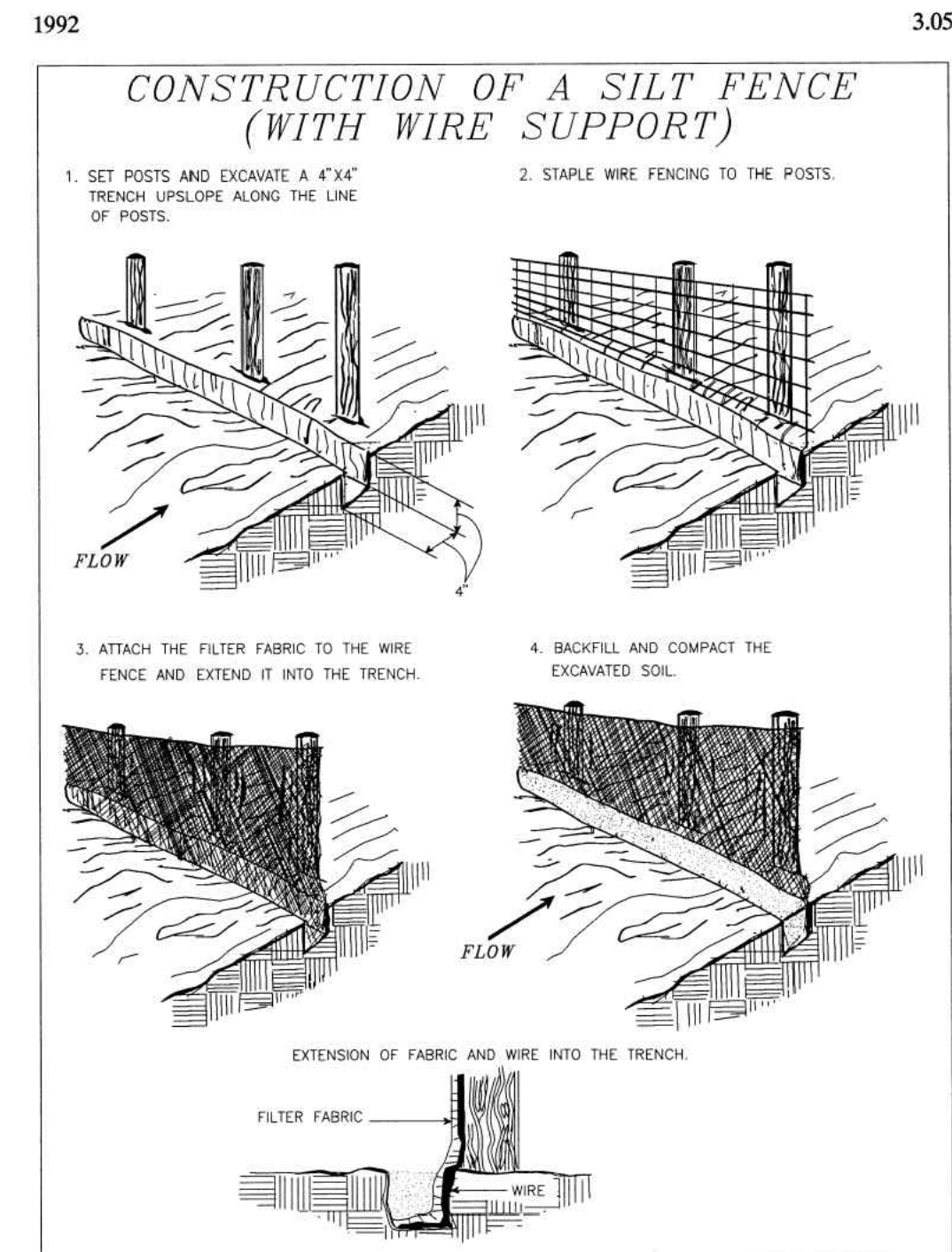


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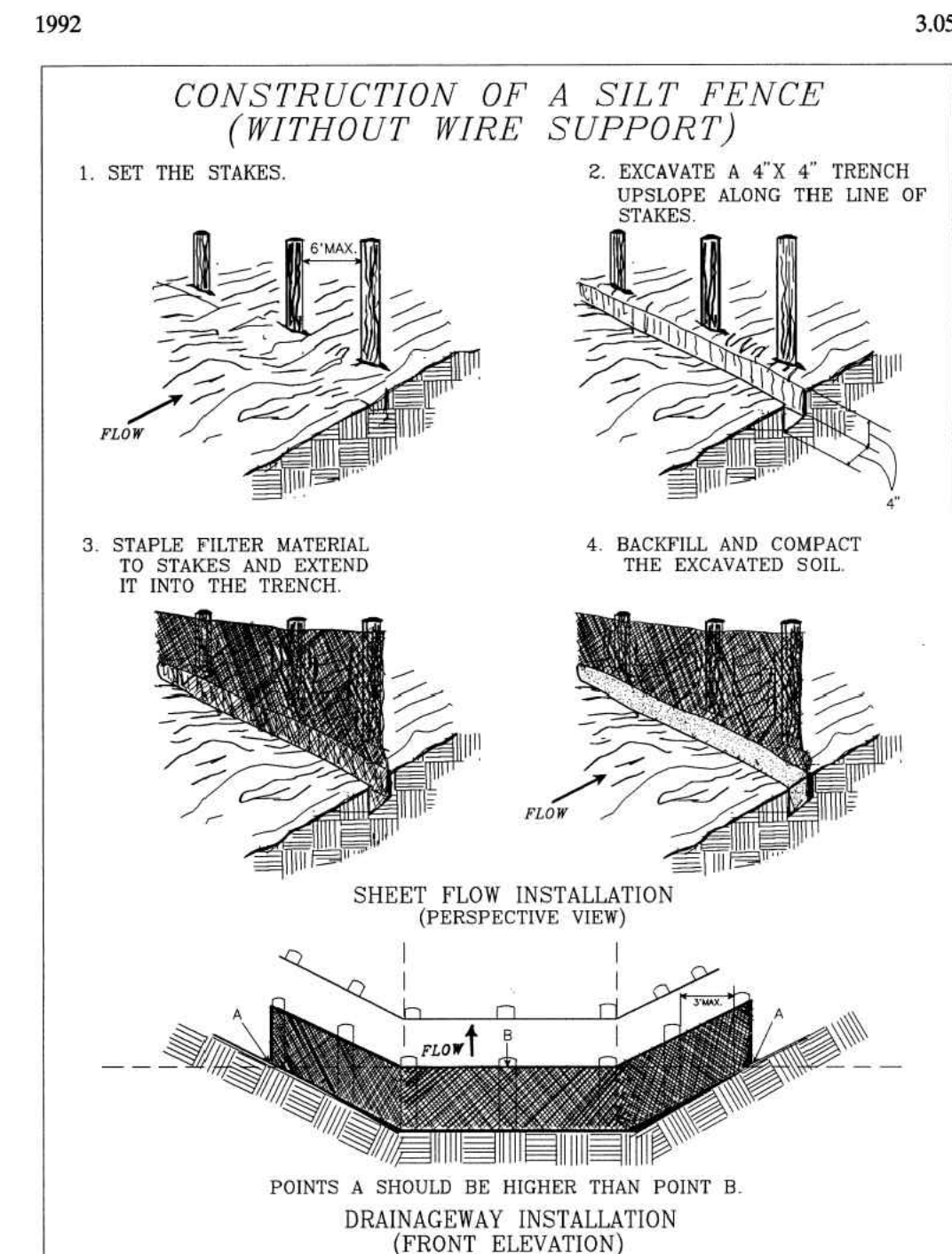
SHEET NO.	TITLE	SITE ADDRESS	MCD-23371	C5	CSG PROJECT #	MCD-23371	DATE	REV	DESCRIPTION	BY	
					DATE ISSUED	1/6/18					
					REVIEWED BY	TP					
DATE	2017	AB	SITE IMPROVEMENTS		DRAWN BY						
PREPARED FOR:		McDonald's USA, LLC		8152 JOHN MOSBY HIGHWAY, BOYCE, VA 22620		DRAWN BY					
DRAWN BY		AB		MCD-23371		DATE					
DATE		2017		MCD-23371		DATE					
REVIEWED BY		TP		MCD-23371		DATE					
DATE ISSUED		1/6/18		MCD-23371		DATE					





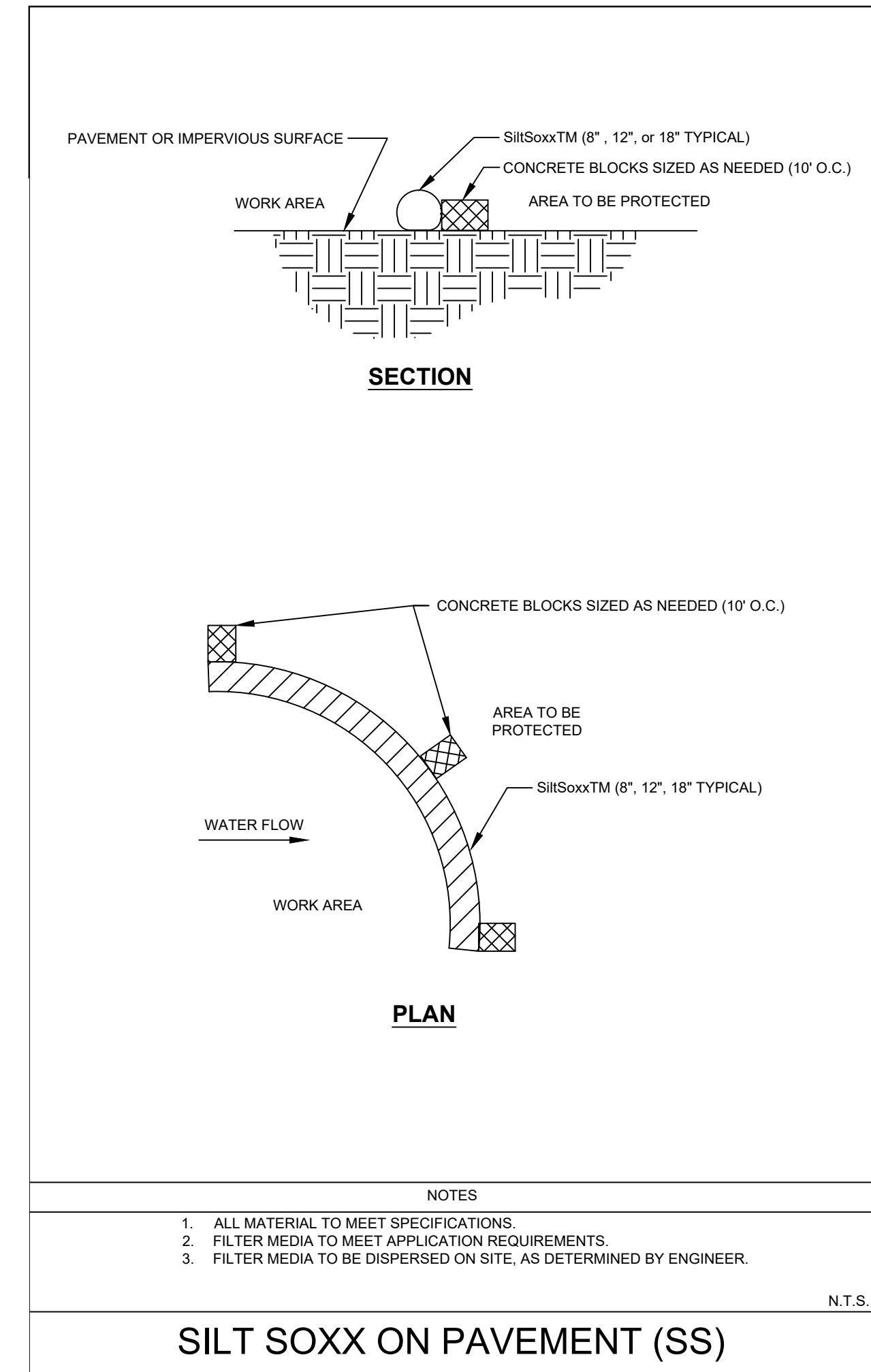
Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant Plate 3.05-1

III - 24



Source: Adapted from Installation of Straw and Fabric Filter Barriers for Sediment Control, Sherwood and Wyant Plate 3.05-2

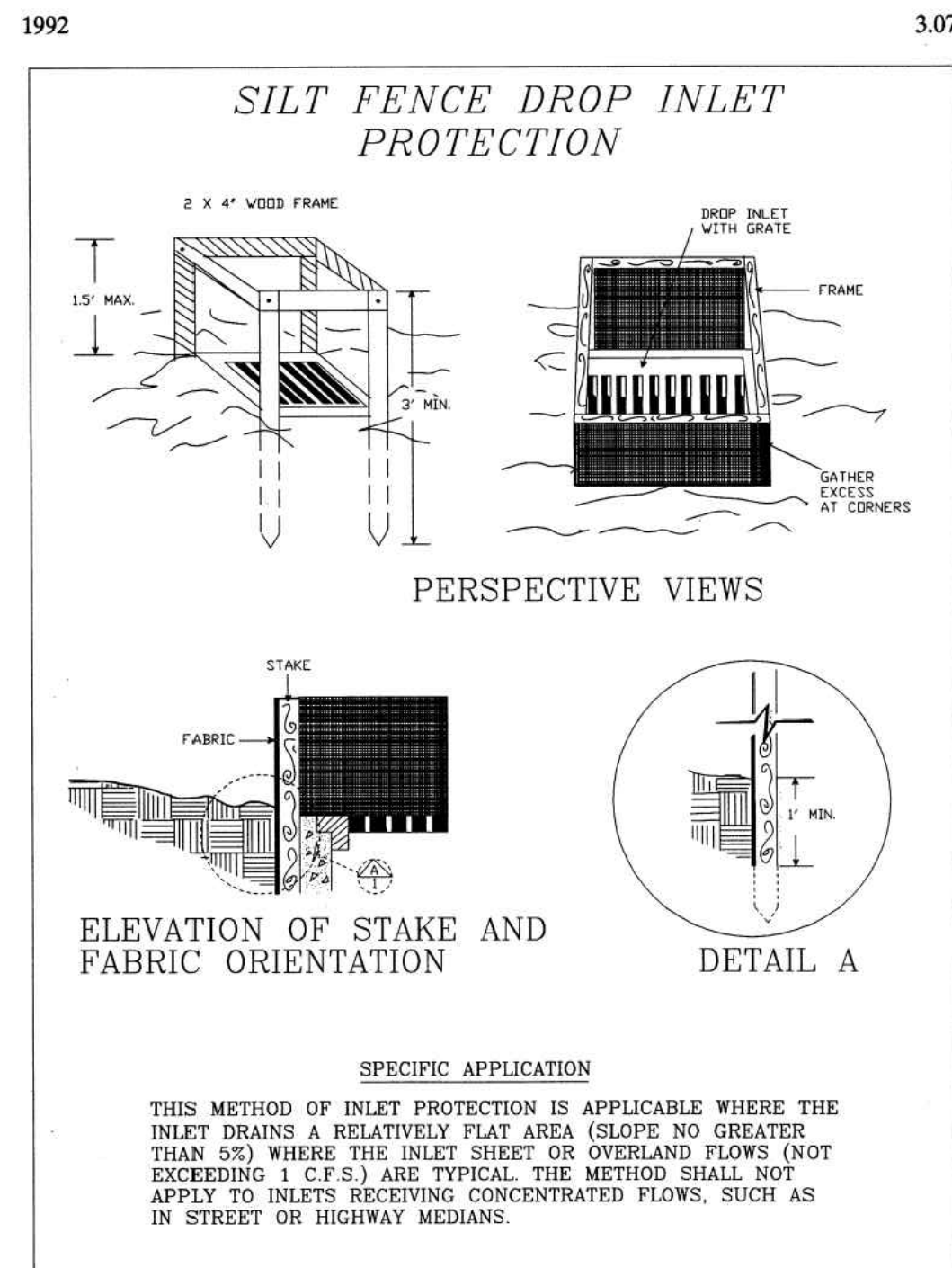
III - 25



SILT SOXX ON PAVEMENT (SS)

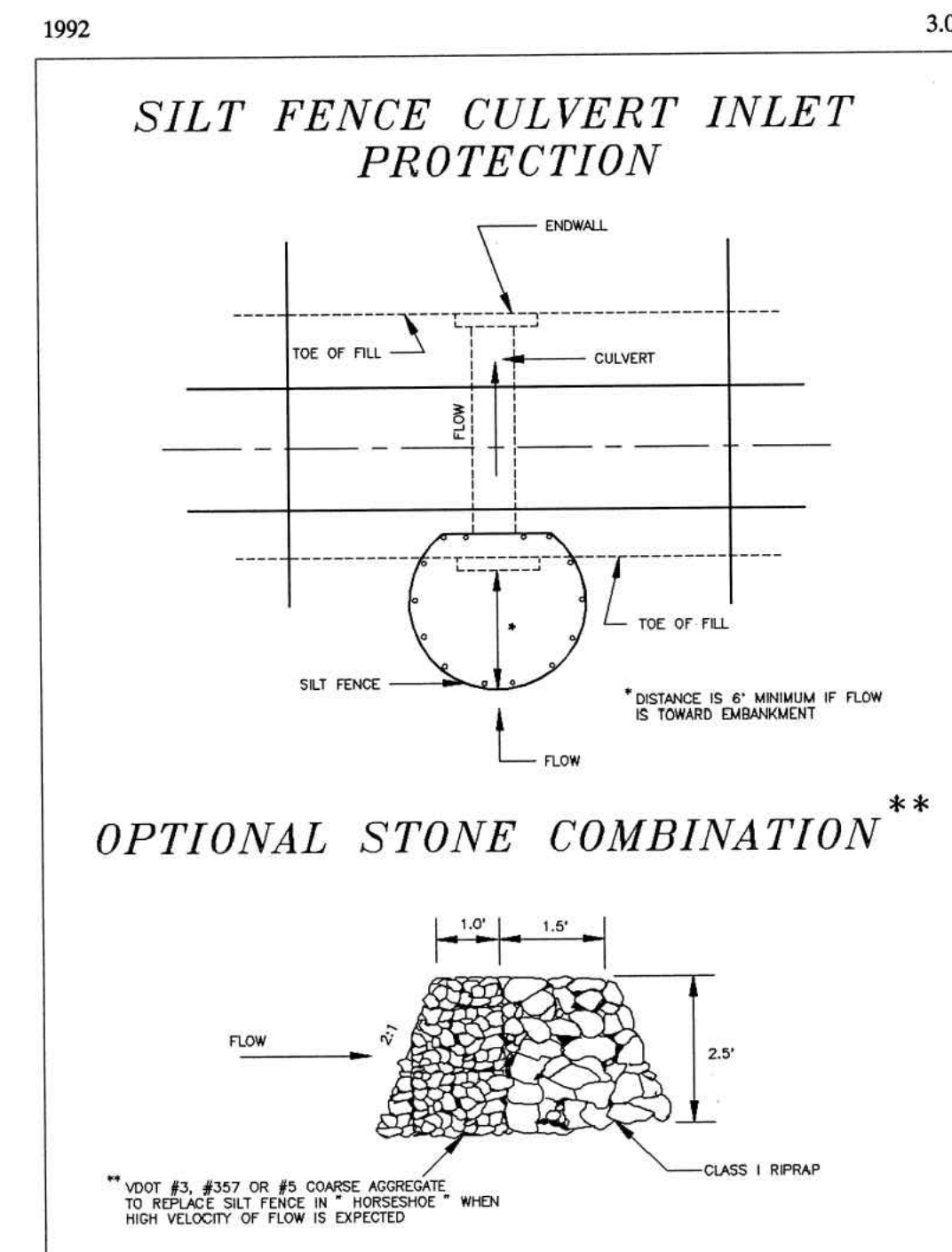
- NOTES
1. ALL MATERIAL TO MEET SPECIFICATIONS.
  2. FILTER MEDIA TO MEET APPLICATION REQUIREMENTS.
  3. FILTER MEDIA TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

N.T.S.



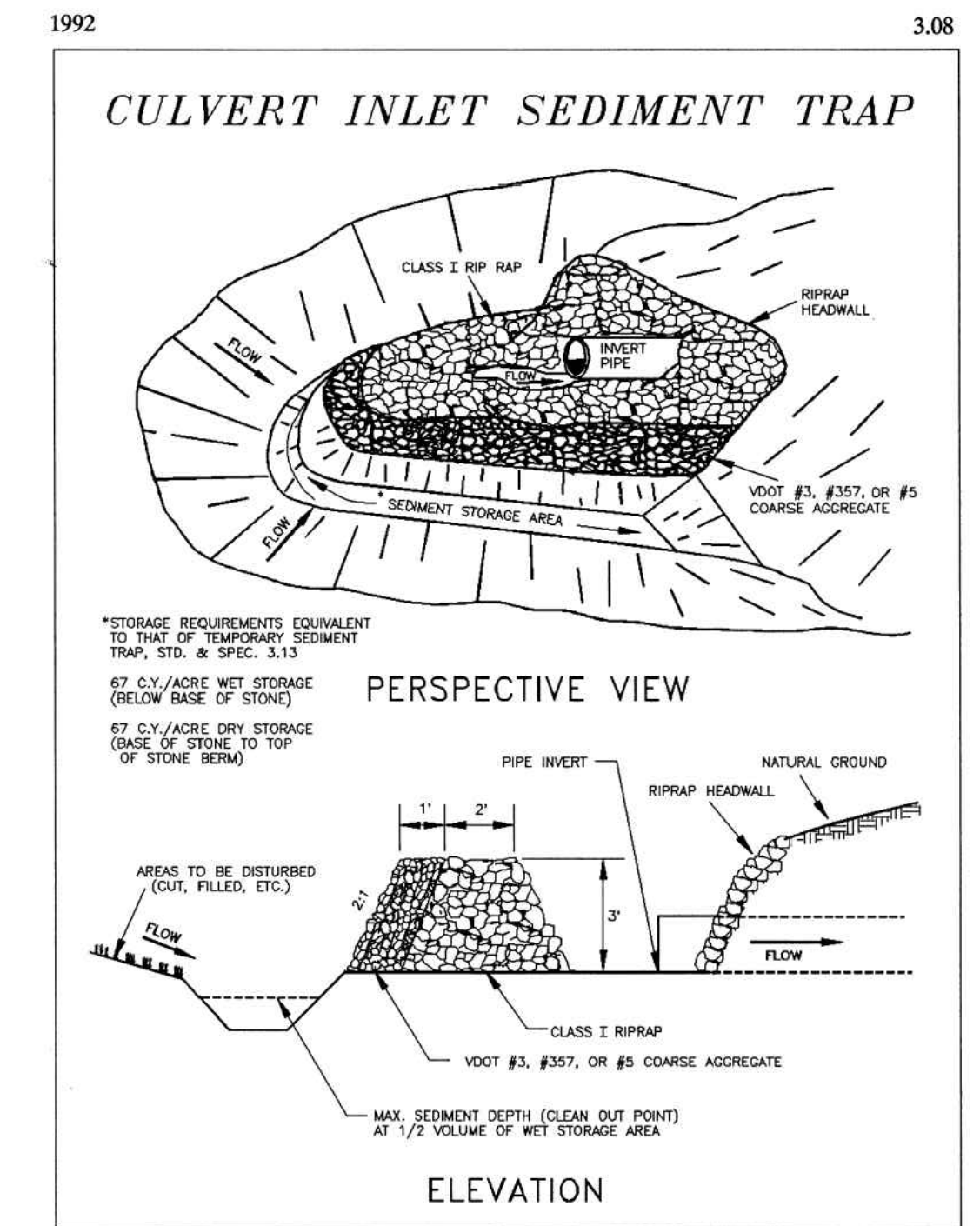
Source: N.C. Erosion and Sediment Control Planning and Design Manual, 1988 Plate 3.07-1

III - 35



Source: Adapted from VDOT Standard Sheets and Va. DSWC Plate 3.08-1

III - 49



Source: North Carolina Sediment Control Commission Plate 3.08-2

III - 50

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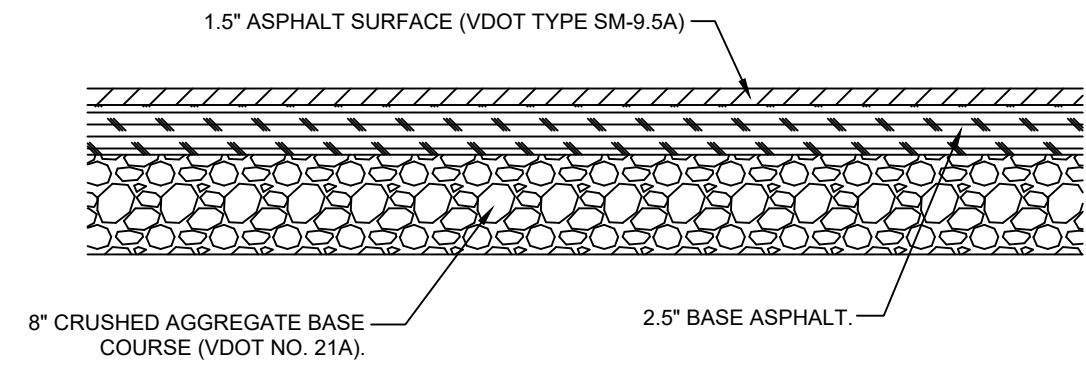
**CORE STATES GROUP**  
12700 HILLCREST ROAD, SUITE 192  
PHOENIX, AZ 85027  
Phone: (480) 277-4420  
info@core-eng.com

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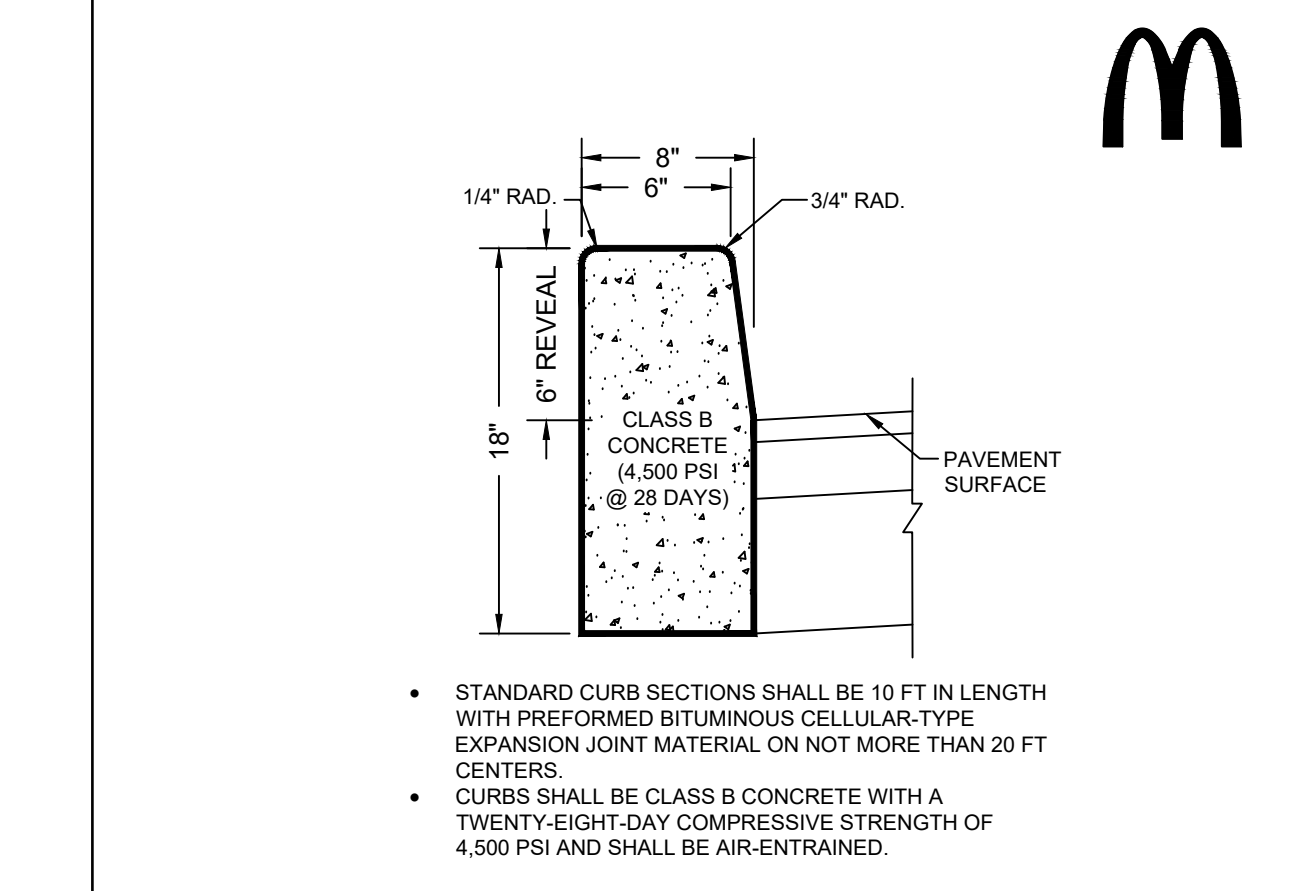
DRAWN BY	AB
STD ISSUE DATE	2017
REVIEWED BY	TP
DATE ISSUED	1/8/18
CSG PROJECT #	MCD-23371

TITLE	SITE IMPROVEMENTS
SHEET	CONSTRUCTION DETAILS
SHEET NO.	C6
SITE ID	8152 JOHN MOSSEY HIGHWAY, BOYCE, VA 22620
045-0526	MCD-23371
DESCRIPTION	
DATE	
REV	
BY	

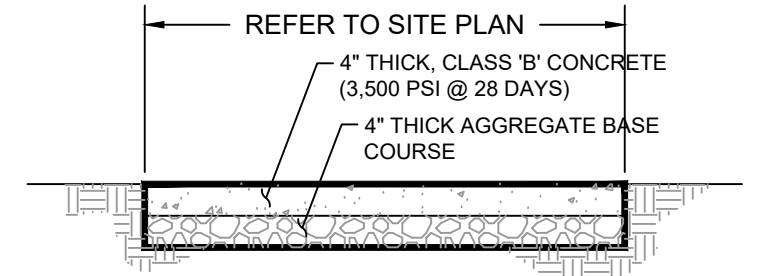
ASPHALT TYPE	LAYER DEPTH
ASPHALT SURFACE (VDOT TYPE SM-9.5A)	1.5"
BASE ASPHALT	2.5"
CRUSHED AGGREGATE BASE COURSE (VDOT NO. 21A)	8"



NOTE: McDONALD'S PROJECT MANAGER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATIONS, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE G.C. WILL BE CHARGED.



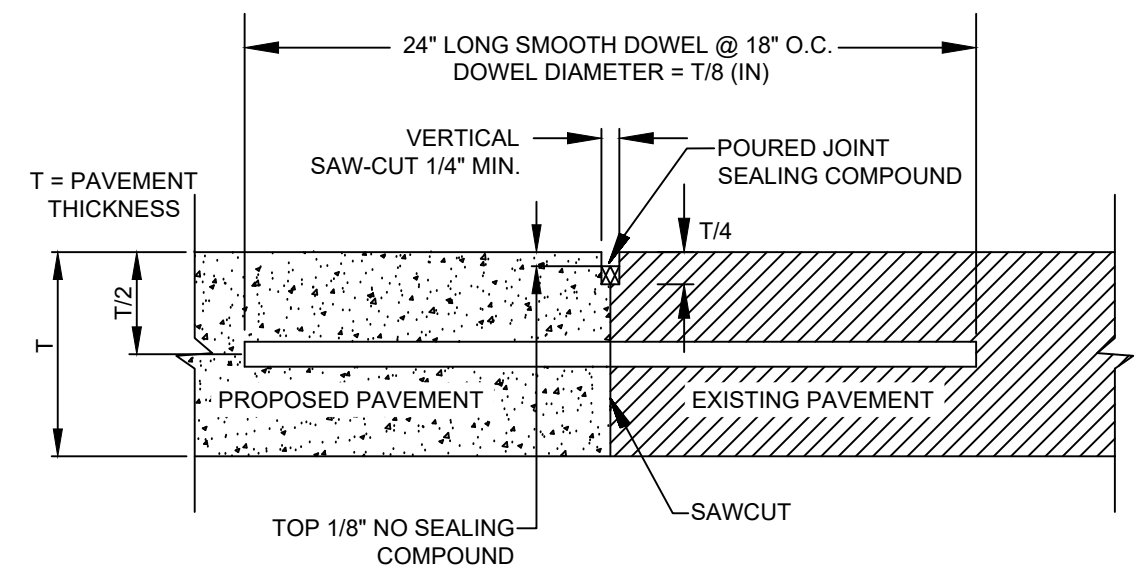
TYPICAL CONCRETE CURB



NOTE: EXPANSION JOINTS 1/2" WIDE PREMOULDED BIT. MATERIAL SHALL BE INSTALLED AT 30' INTERVALS. CONTRACTION JOINTS TO BE SPACED AT EQUAL INTERVALS, 5' MAXIMUM LENGTH.

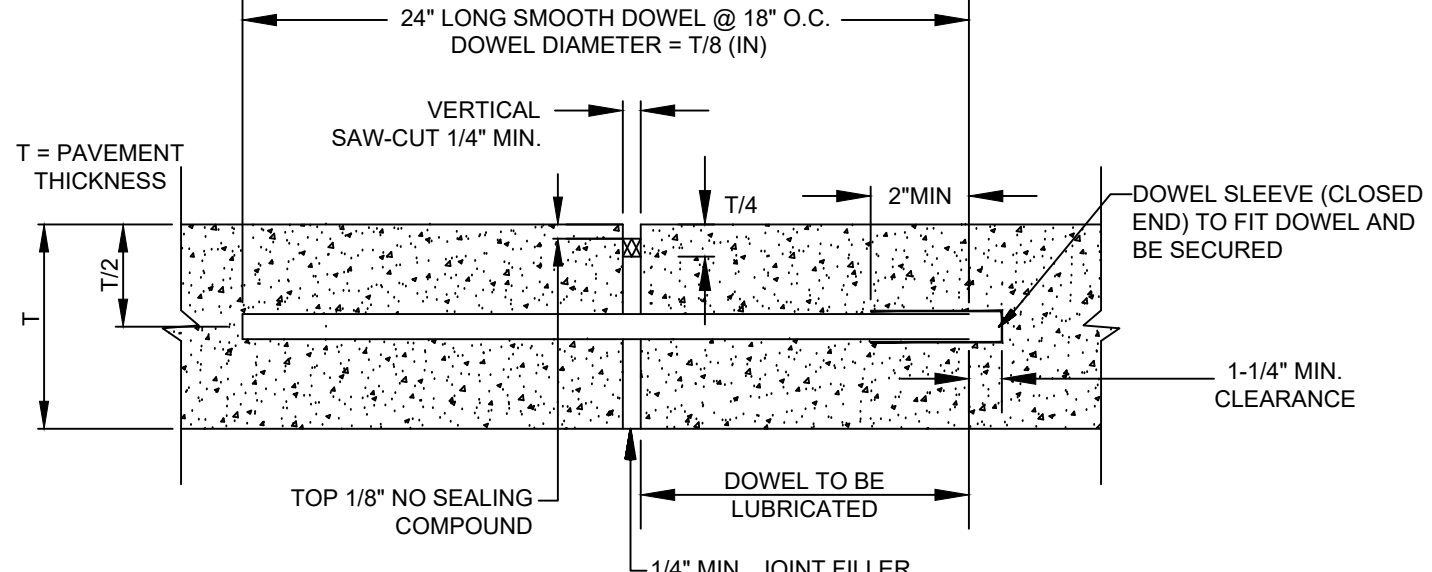
HEAVY DUTY ASPHALT PAVING SECTION

CONCRETE SIDEWALK



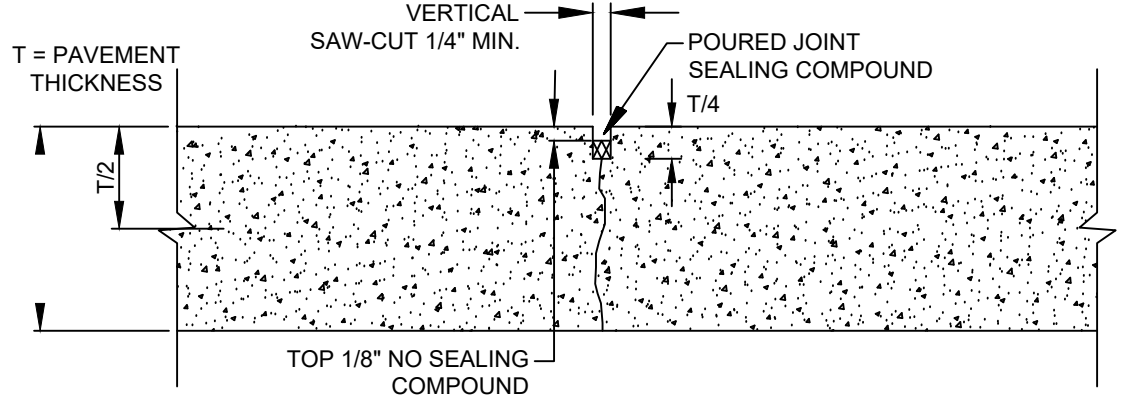
NOTE:  
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.  
2. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

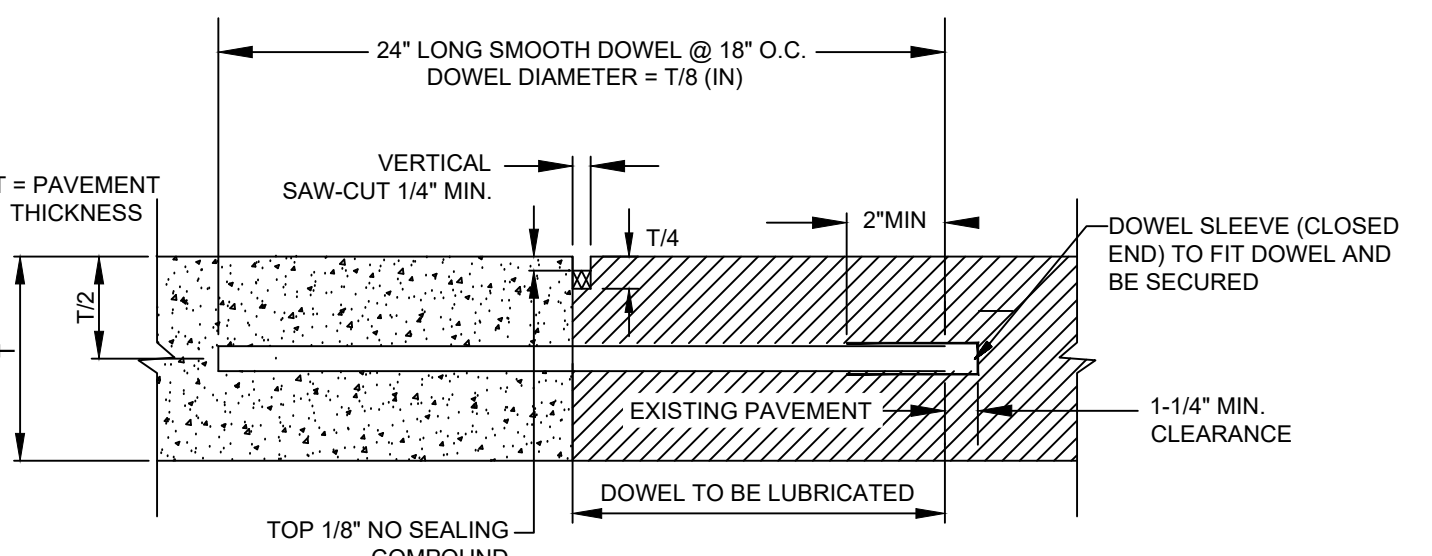


NOTE:  
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT

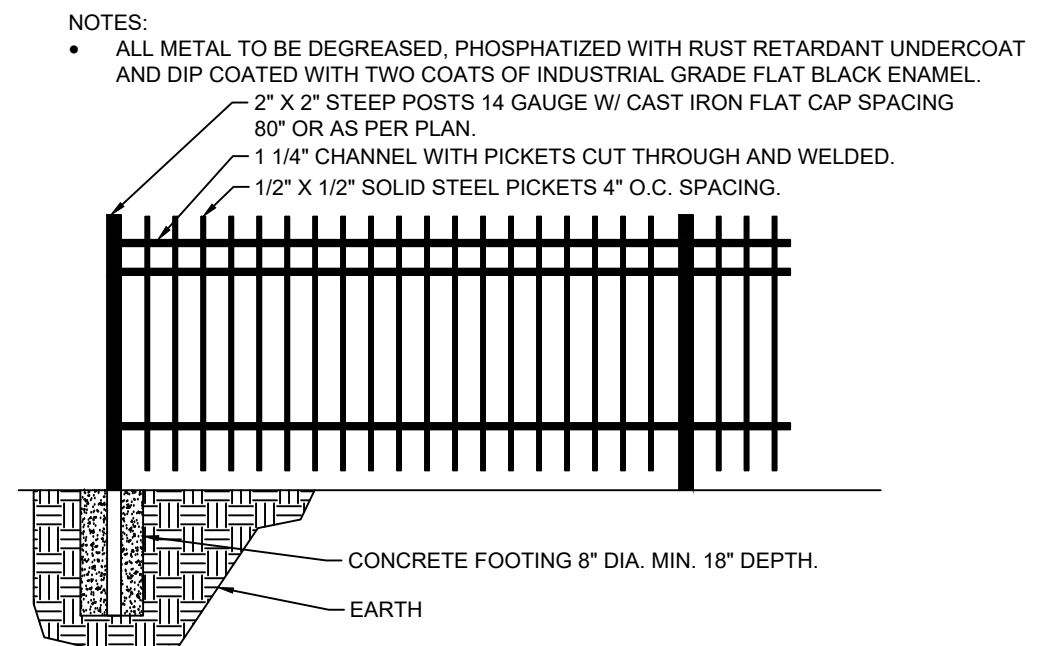


CONTRACTION JOINT



NOTE:  
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT



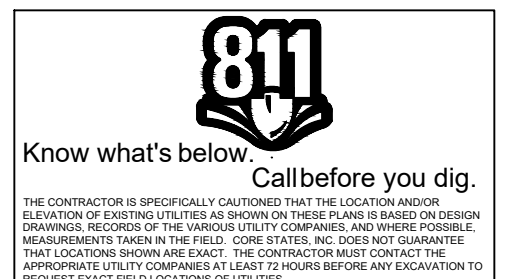
WROUGHT IRON FENCE DETAIL

NOTES:  
• ALL METAL TO BE DEGREASED, PHOSPHATIZED WITH RUST RETARDANT UNDERCOAT AND DIP COATED WITH TWO COATS OF INDUSTRIAL GRADE FLAT BLACK ENAMEL.  
• 2" X 2" STEEP POSTS 14 GAUGE W/ CAST IRON FLAT CAP SPACING 80" OR AS PER PLAN.  
• 1 1/4" CHANNEL WITH PICKETS CUT THROUGH AND WELDED.  
• 1/2" X 1/2" SOLID STEEL PICKETS 4" O.C. SPACING.

CONCRETE FOOTING 8" DIA. MIN. 18" DEPTH.  
EARTH.

CONCRETE JOINT DETAILS

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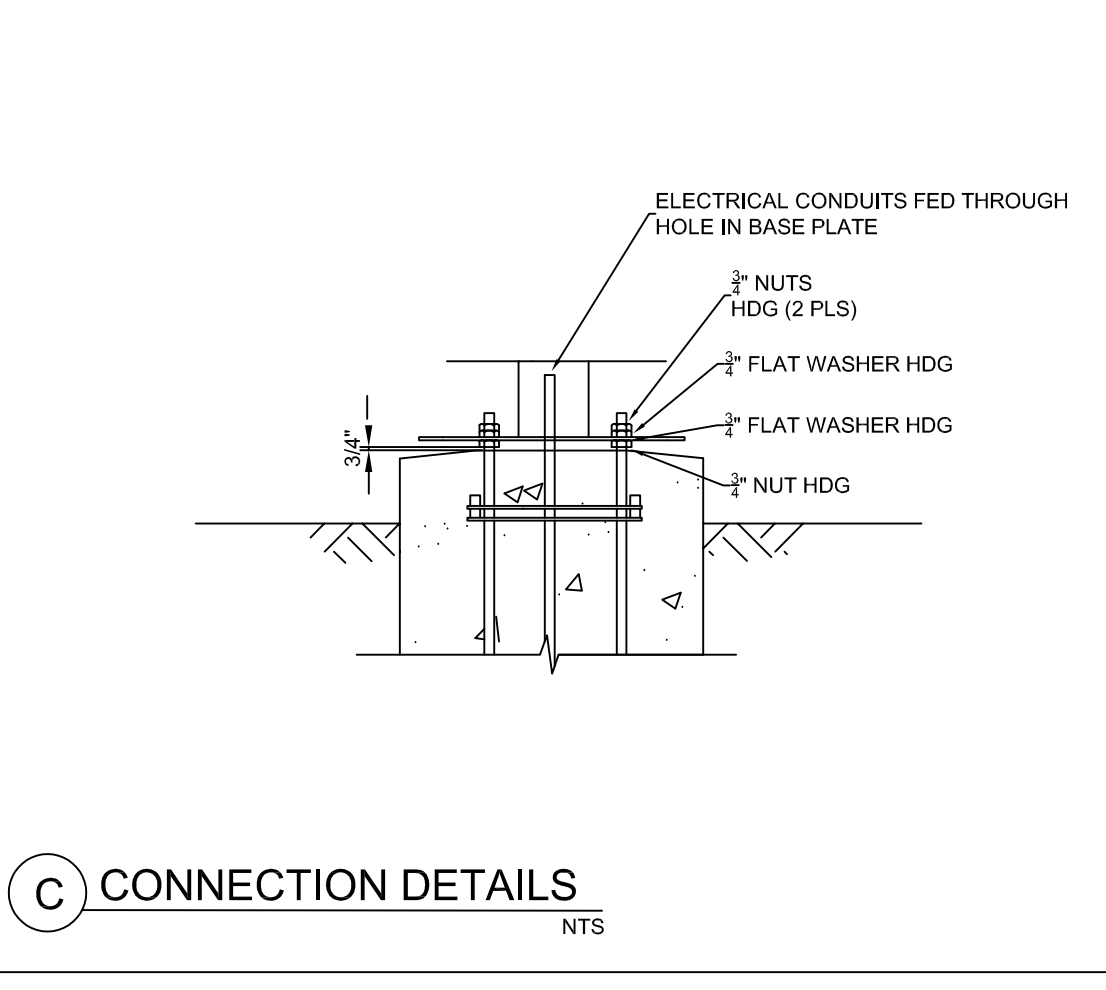
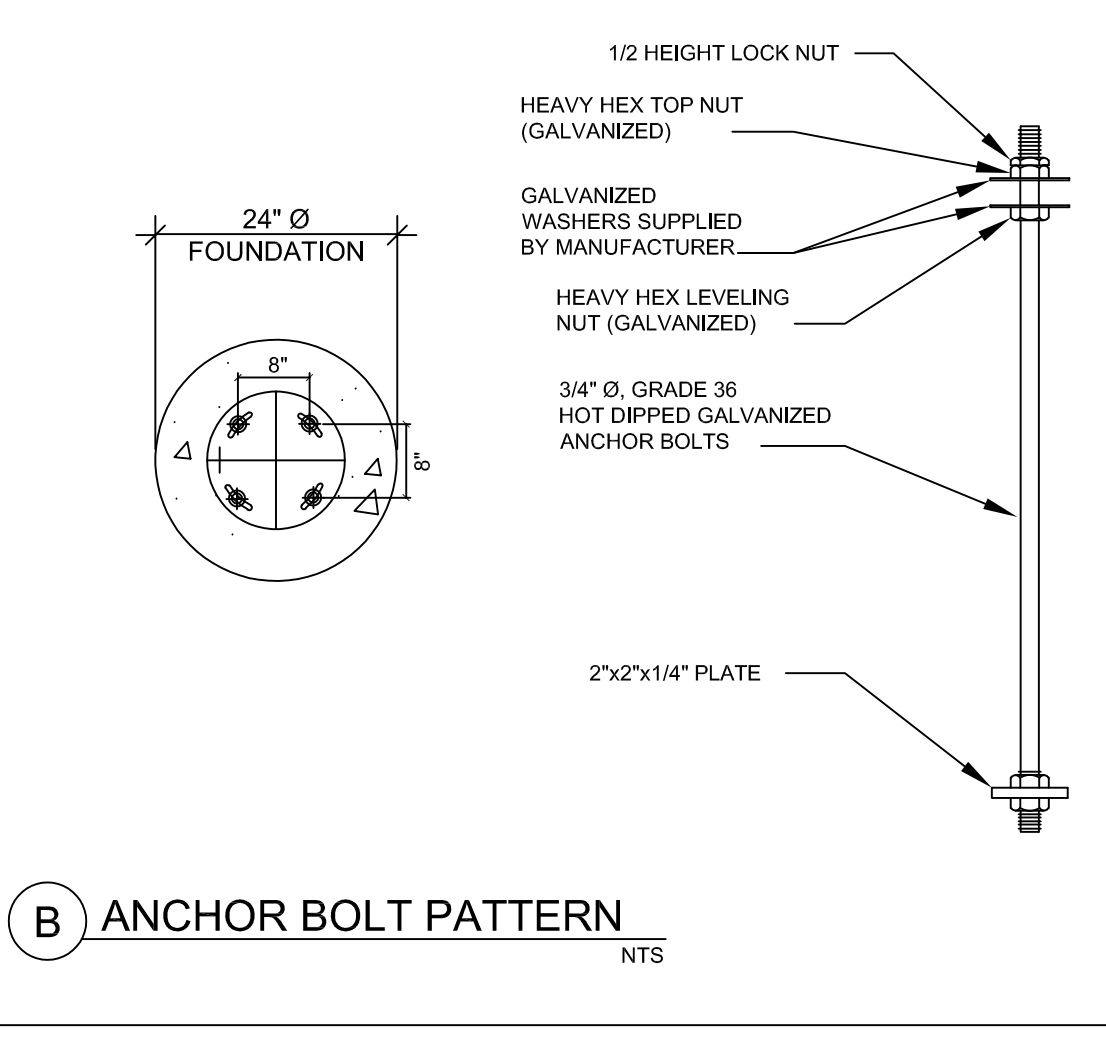
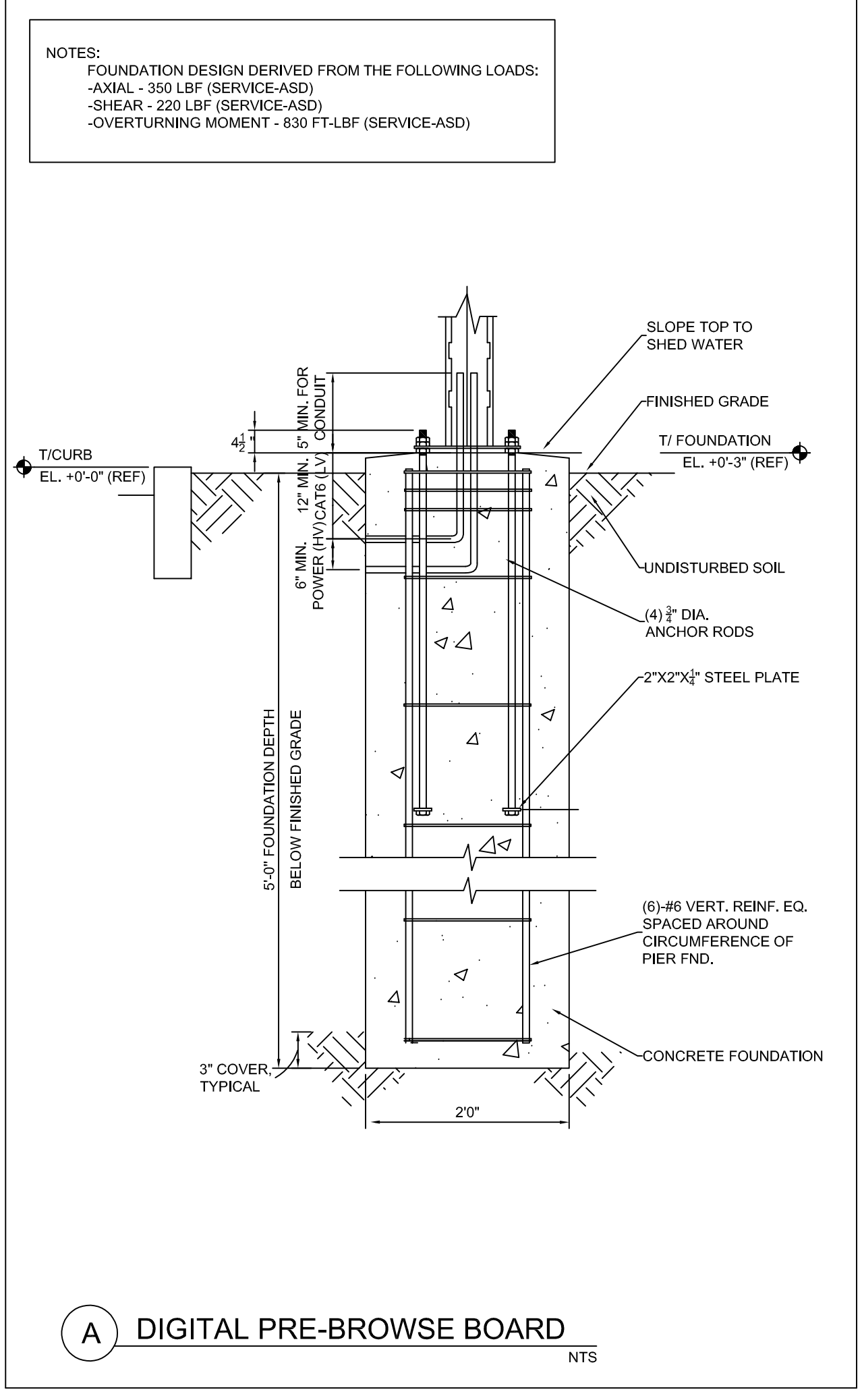
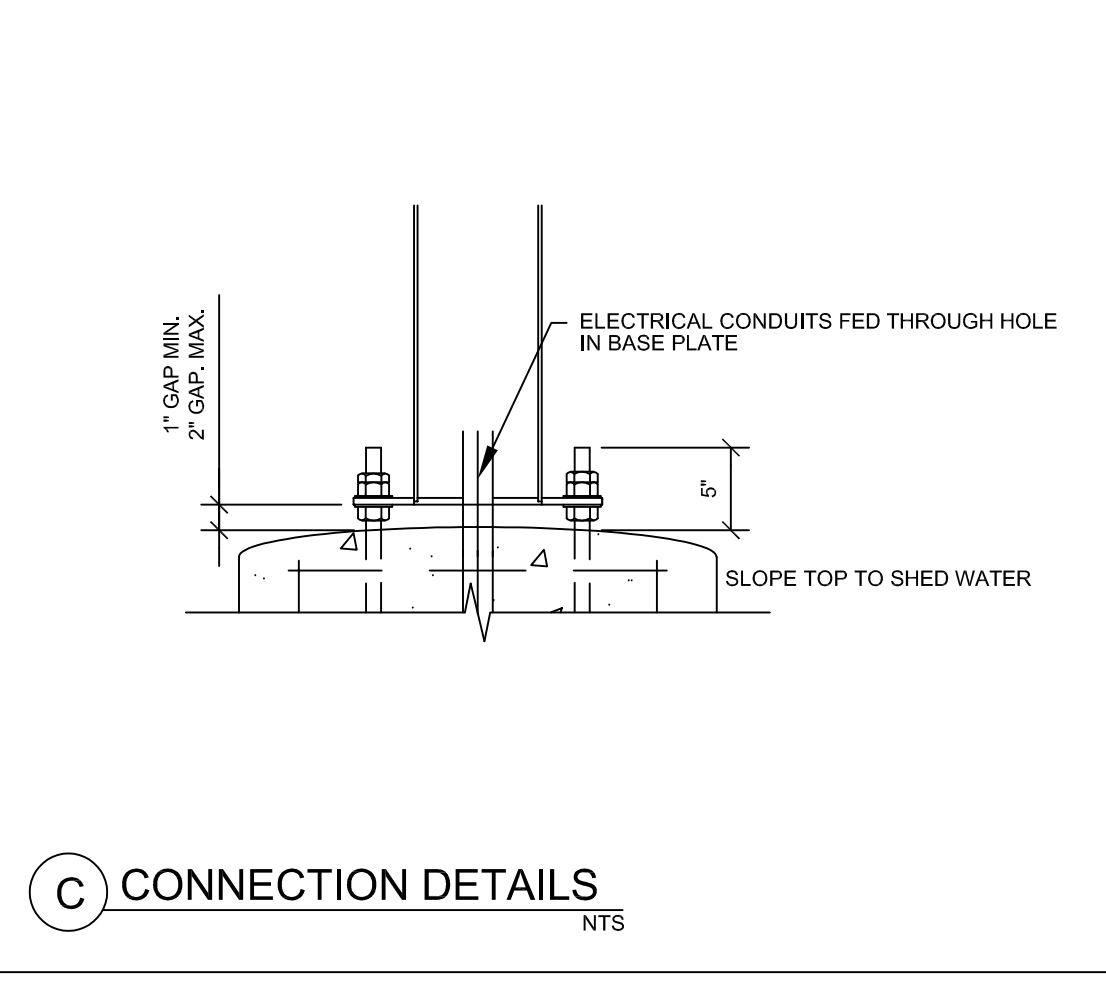
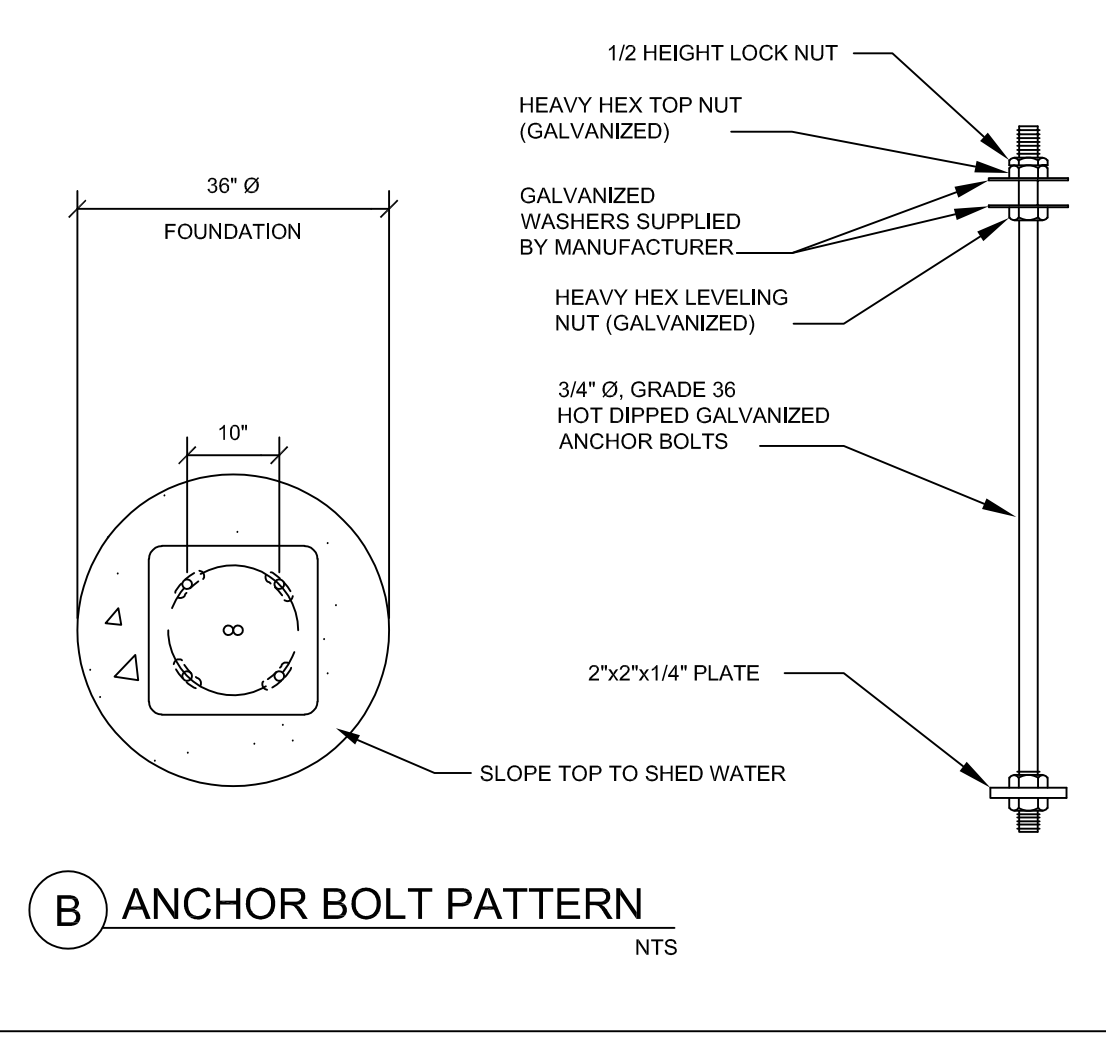
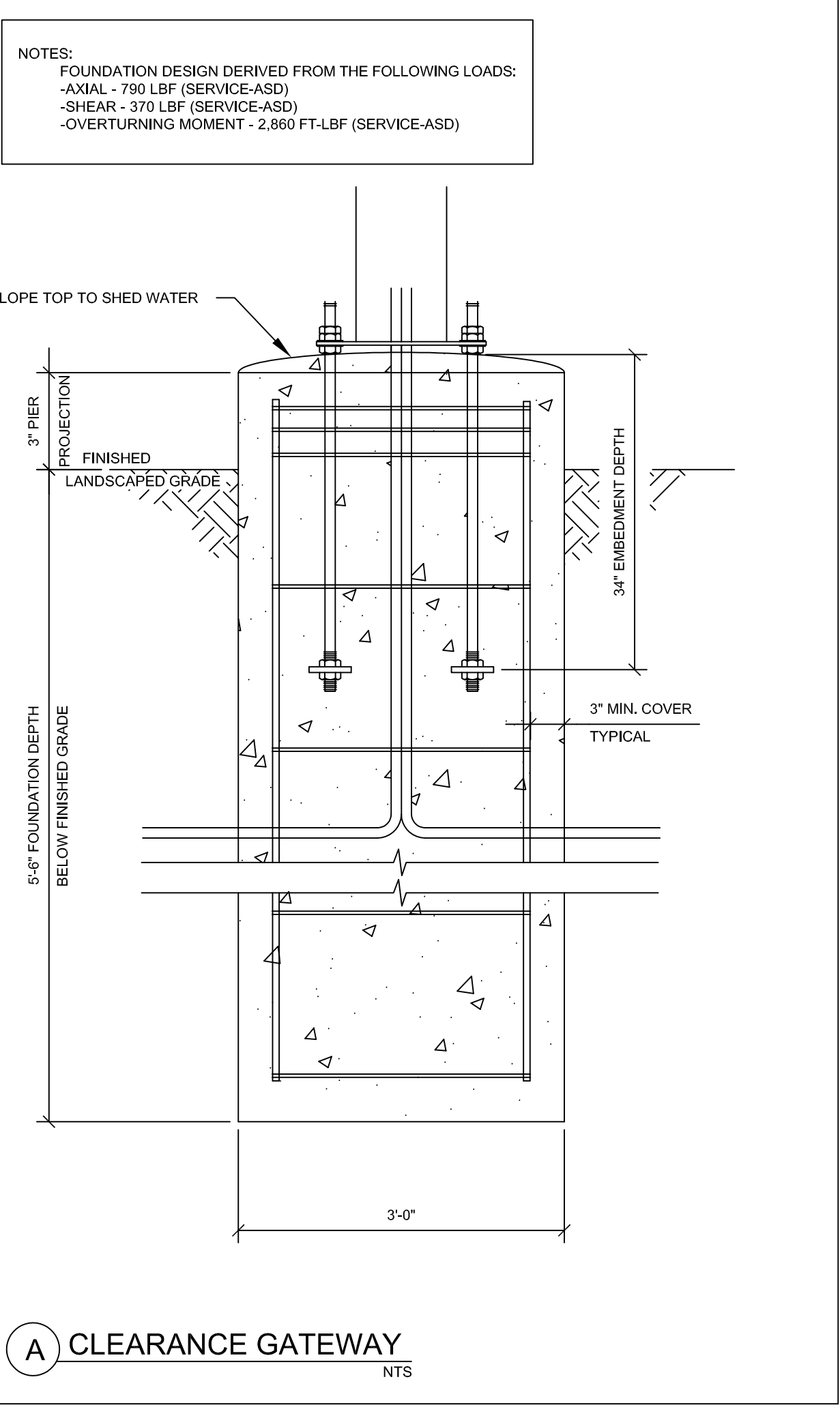
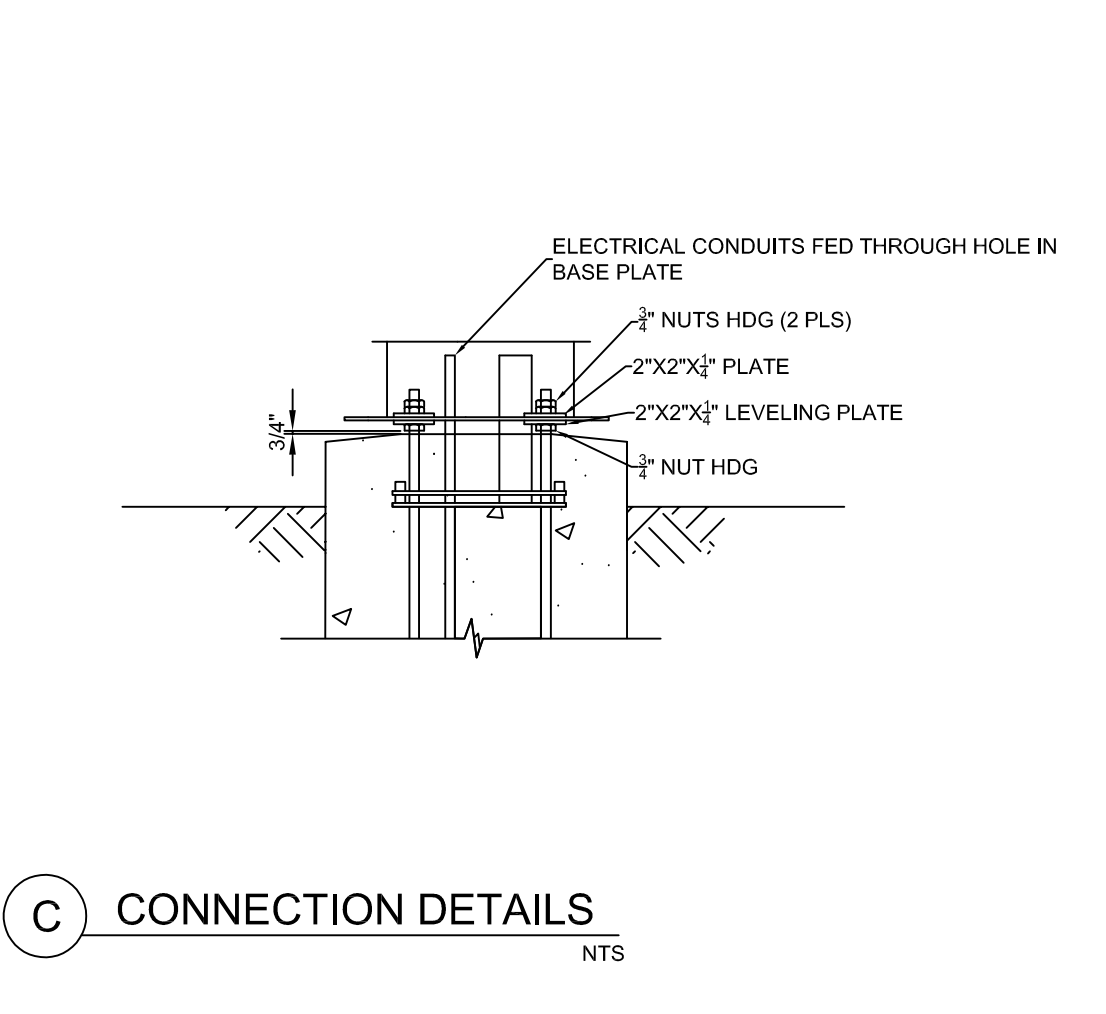
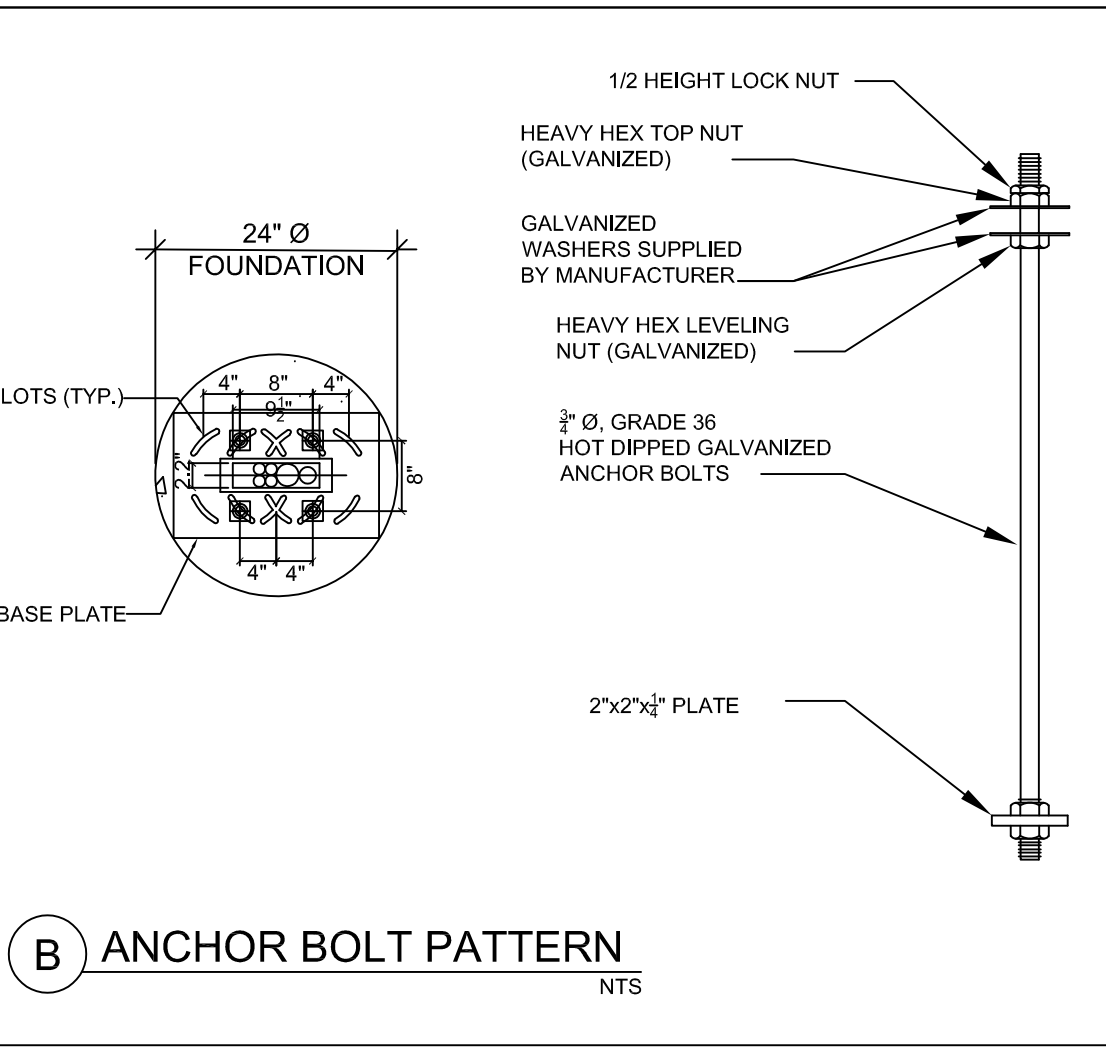
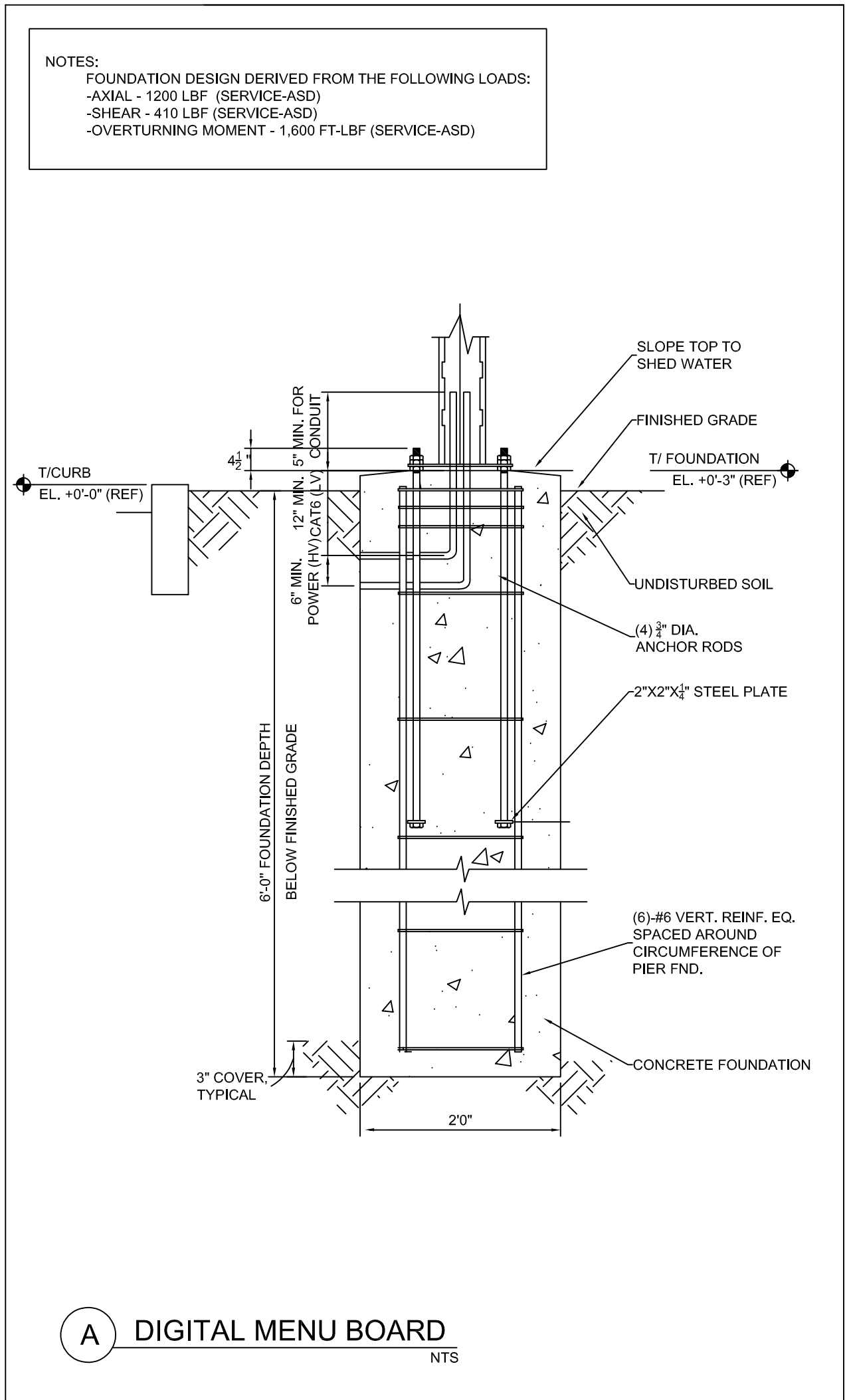
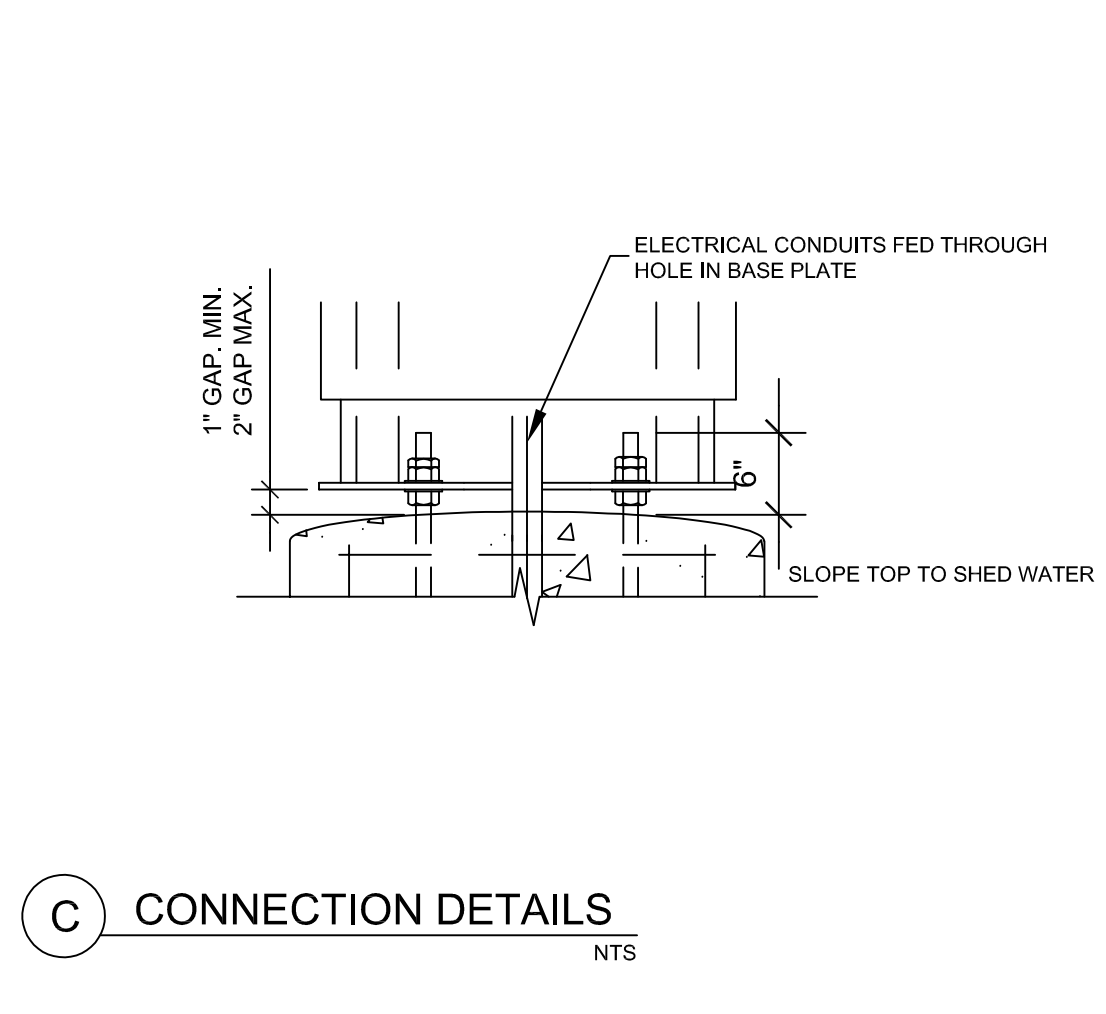
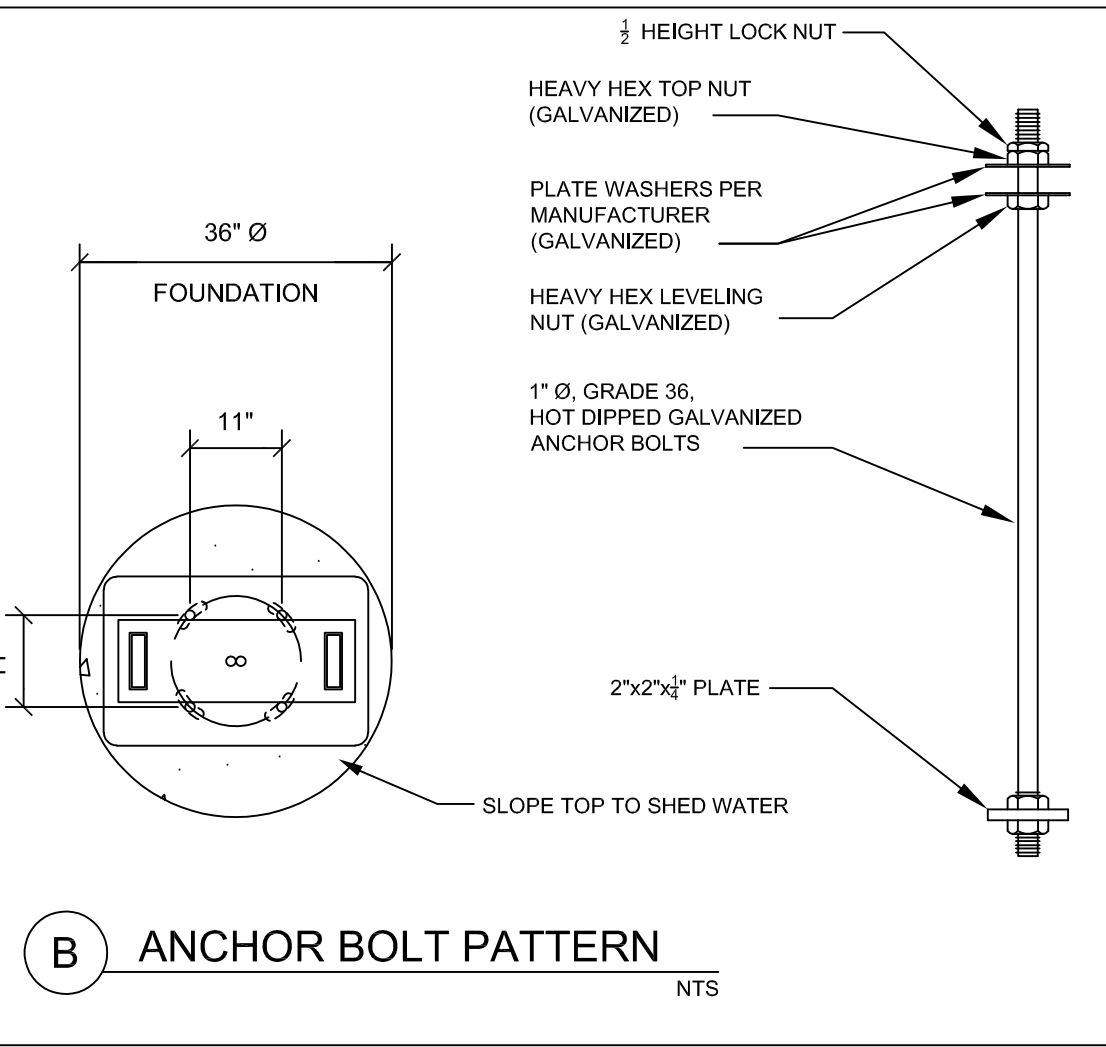
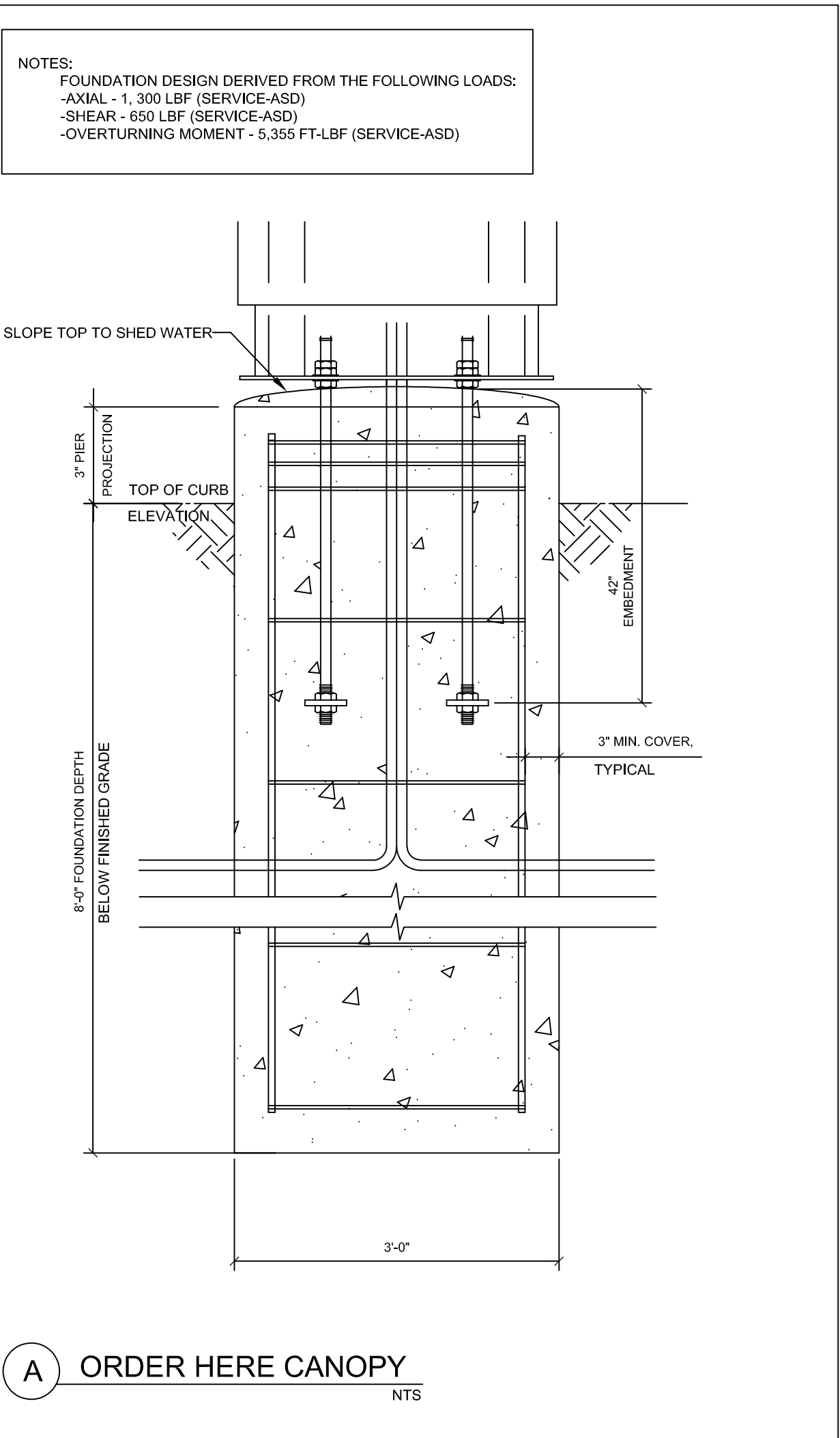
REV	DATE	DESCRIPTION

**CORE STATES GROUP**  
 12700 HILLCREST ROAD, SUITE 192  
 PHOENIX, AZ 85026  
 PH: (602) 998-4420  
 bicplanning@core-eng.com

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STD ISSUE DATE	2017
REVIEWED BY	TP
DATE ISSUED	1/6/18
CSG PROJECT #	MCD-23371

TITLE	SITE IMPROVEMENTS
SHEET	CONSTRUCTION DETAILS
SHEET NO.	C7
SITE ID	8152 JOHN MOSSBY HIGHWAY, BOYCE, VA 22620
045-0526	



**GENERAL NOTES FOR SIGN POLE FOUNDATIONS**

- THE FOLLOWING CODES WERE USED IN DESIGN:  
-2015 INTERNATIONAL BUILDING CODE  
-ASCE 7-10  
-ACI 318-14  
-AISC 14th EDITION  
-AWS D1.1  
-WIND SPEED 115 MPH-ULTIMATE (3-SEC GUST)  
-EXPOSURE C
- GENERAL:**  
-SIGN POLE ASSEMBLY INCLUDING BUT NOT LIMITED TO, SIGN ASSEMBLY, STRUCTURAL STEEL POST AND BASE PLATE ASSEMBLY SHALL BE THE RESPONSIBILITY OF OTHERS.  
-CONTRACTOR SHALL COORDINATE SIGN POLE BASE ASSEMBLY AND ANCHOR BOLT LAYOUT WITH VENDOR PRIOR TO PLACEMENT OF CONCRETE FOUNDATION AND ANCHOR BOLTS.  
-ALL CONTENT WITHIN THESE DRAWINGS TO BE CHECKED AGAINST ELECTRICAL DRAWINGS BY THE GENERAL CONTRACTOR AND ANY DISCREPANCIES ARE TO BE REPORTED IMMEDIATELY.  
-THE CONTRACTOR SHALL ASSUME RESPONSIBILITY, UNRELIEVED BY REVIEW OF SHOP DRAWINGS OR PERIODIC OBSERVATION OF CONSTRUCTION, FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, FOR FABRICATION PROCESSES AND CONSTRUCTION TECHNIQUES, AND FOR SAFE CONDITIONS ON THE JOB SITE.  
-DO NOT SCALE DRAWINGS.  
-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.  
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 150 PSF/FT.  
-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER, IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.  
-TOP 6\"/>

- STEEL:**  
-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ( $F_y = 35$ ksi)  
-HSS ROUND SECTION: ASTM A500 GRADE B ( $F_y = 42$ ksi)  
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ( $F_y = 46$ ksi)  
-CONNECTION BOLTS A325  
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36  
-REINFORCEMENT: GRADE 60  
-NUTS: A563DH OR A194-2H  
-WASHERS: ASTM F436  
-BOLTS: F1554 GRADE 36  
USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS  
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN LIGHTING MANUFACTURER  
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL  
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE  
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.  
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

**CONTRACTOR TO CONFIRM ANCHOR BOLT LAYOUTS FOR ALL SIGNS & LIGHT POLES WITH VENDOR DRAWINGS BEFORE INSTALLING FOUNDATIONS**

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**811**

Know what's below. Call before you dig.

**CORESTATES, INC.**  
12700 HILLCREST ROAD, SUITE 102  
PHOENIX, AZ 85024  
PHONE: (602) 977-6420  
E-MAIL: PICKERING@CORE-ENG.COM

PREPARED FOR:  
**McDonald's USA, LLC**  
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**CONSTRUCTION DETAILS**  
C8

**SITE IMPROVEMENTS**  
MCD-23371

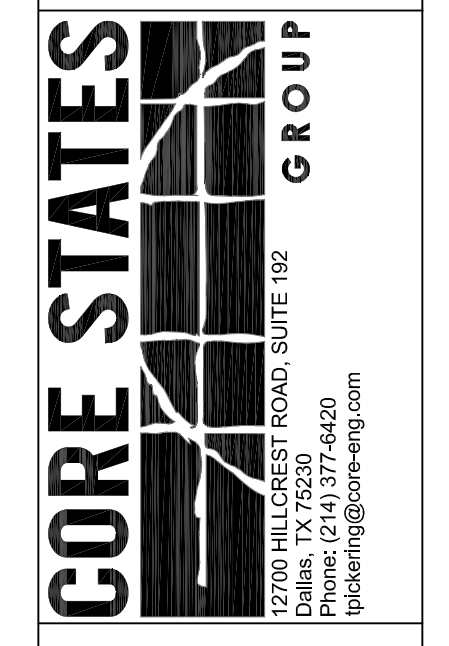
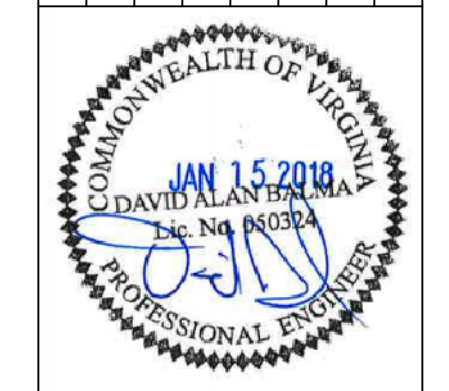
**SITE ADDRESS**  
8152 JOHN MOSBY HIGHWAY, BOYCE, VA 22620

**CSG PROJECT #**  
MCD-23371

**DRAWN BY:** AB  
**STD ISSUE DATE:** 2017  
**REVIEWED BY:** TP  
**DATE ISSUED:** 1/8/18

**TITLE**  
SITE IMPROVEMENTS  
**SHEET**  
CONSTRUCTION DETAILS  
**C8**

SHEET NO.	TITLE	DATE	REVISIONS		DESCRIPTION
			NO.	DATE	



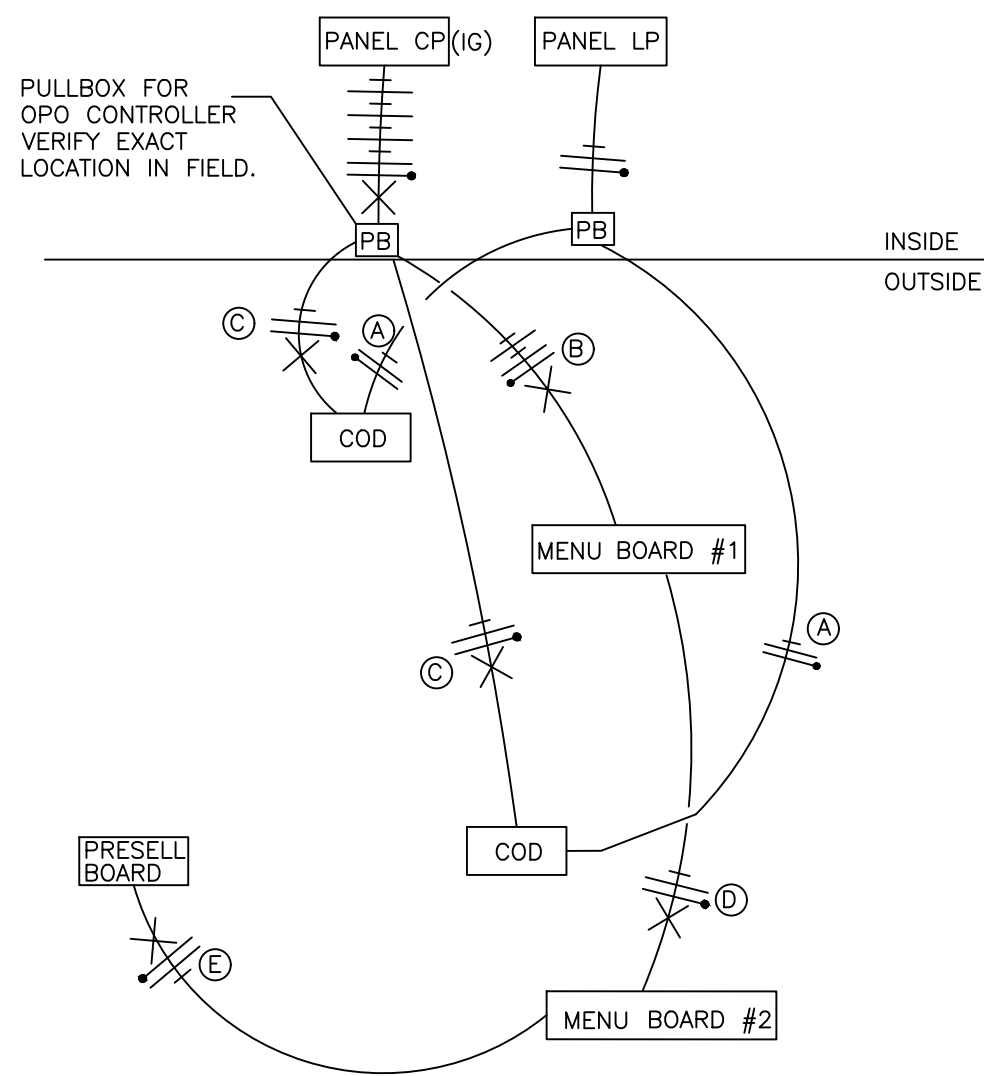
PREPARED FOR:  
**McDonald's USA, LLC**  
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**NOTE:**

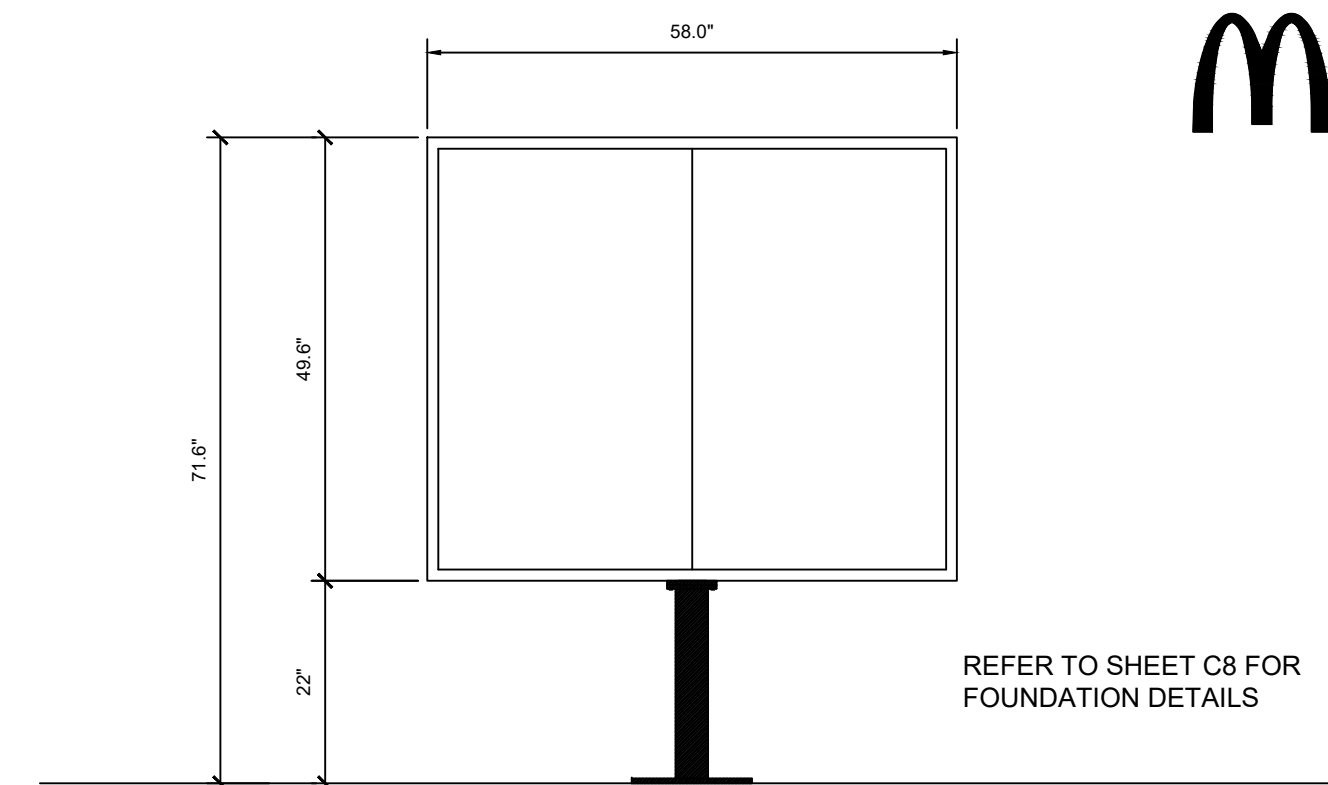
- VERIFY EXACT CIRCUITS & QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES AND MANUFACTURERS INSTALLATION INSTRUCTIONS.
- IF IMPLEMENTING NEW EXTERIOR DIGITAL MENUBOARDS AT AN EXISTING RESTAURANT, VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACE FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IF NECESSARY.
- IF IMPLEMENTING NEW EXTERIOR DIGITAL MENUBOARDS AT AN EXISTING RESTAURANT, VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY.

- A 2#12 & 1#12 GND. TO LP-1 FOR COD CANOPY LIGHTING.
- B 4#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- C 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO COD'S. EACH COD SHALL BE ON ITS OWN SEPARATE CIRCUIT.
- D 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- E 2#12 & 1#12 GND & 1#12 ISOLATED GND. TO CP FOR ISOLATED GROUND POWER TO FOR PRESELL BOARDS AND MEDIA PLAYER.

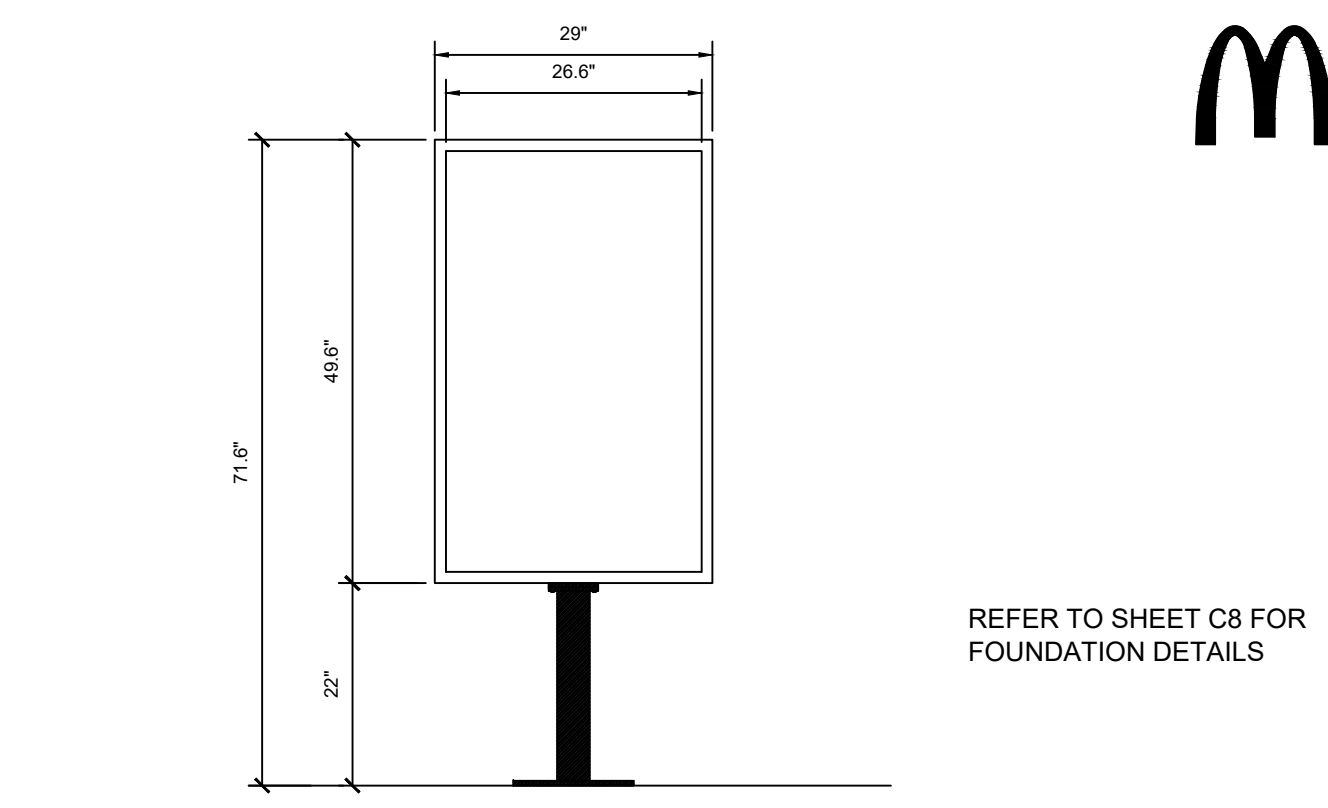
1 DRIVE THRU POWER DIAGRAM  
C9 NOT TO SCALE



7 DIGITAL MENU BOARD  
C9 SCALE: NONE



7 DIGITAL MENU BOARD  
C9 SCALE: NONE

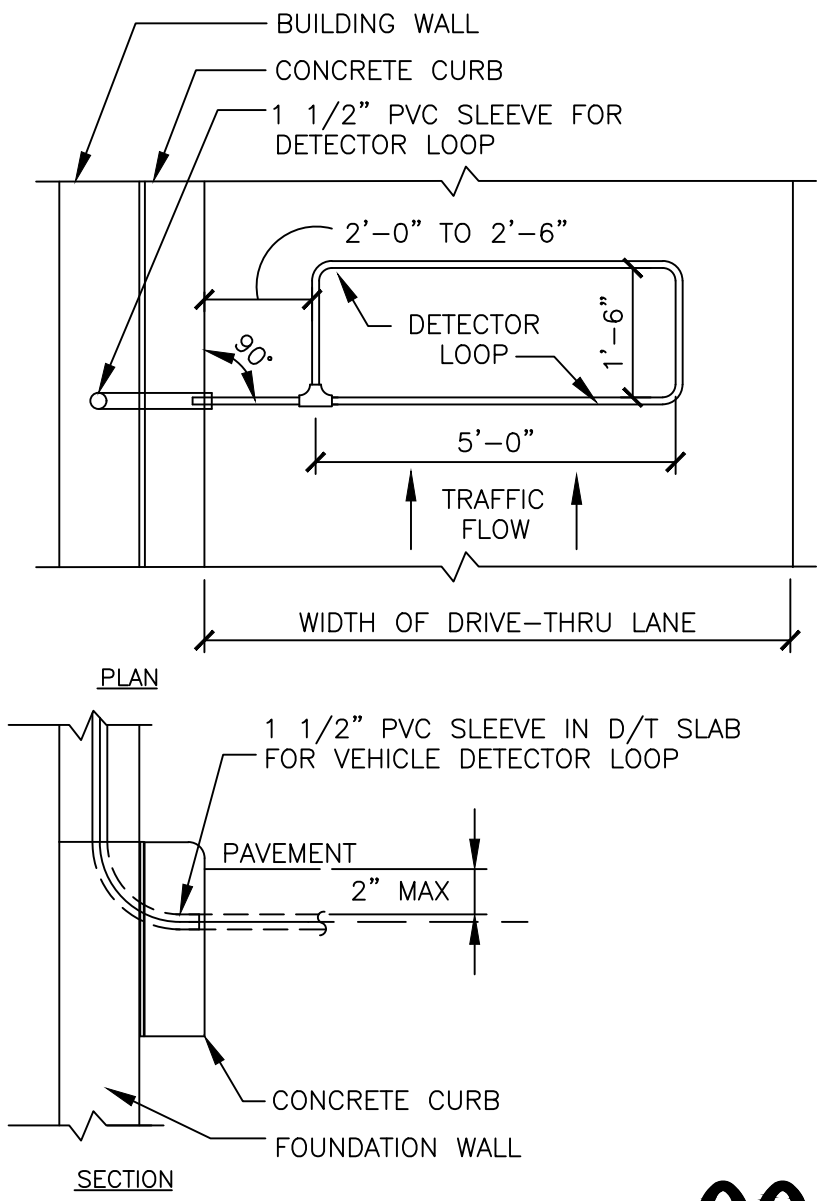


8 DIGITAL PRE-BROWSE BOARD  
C9 SCALE: NONE

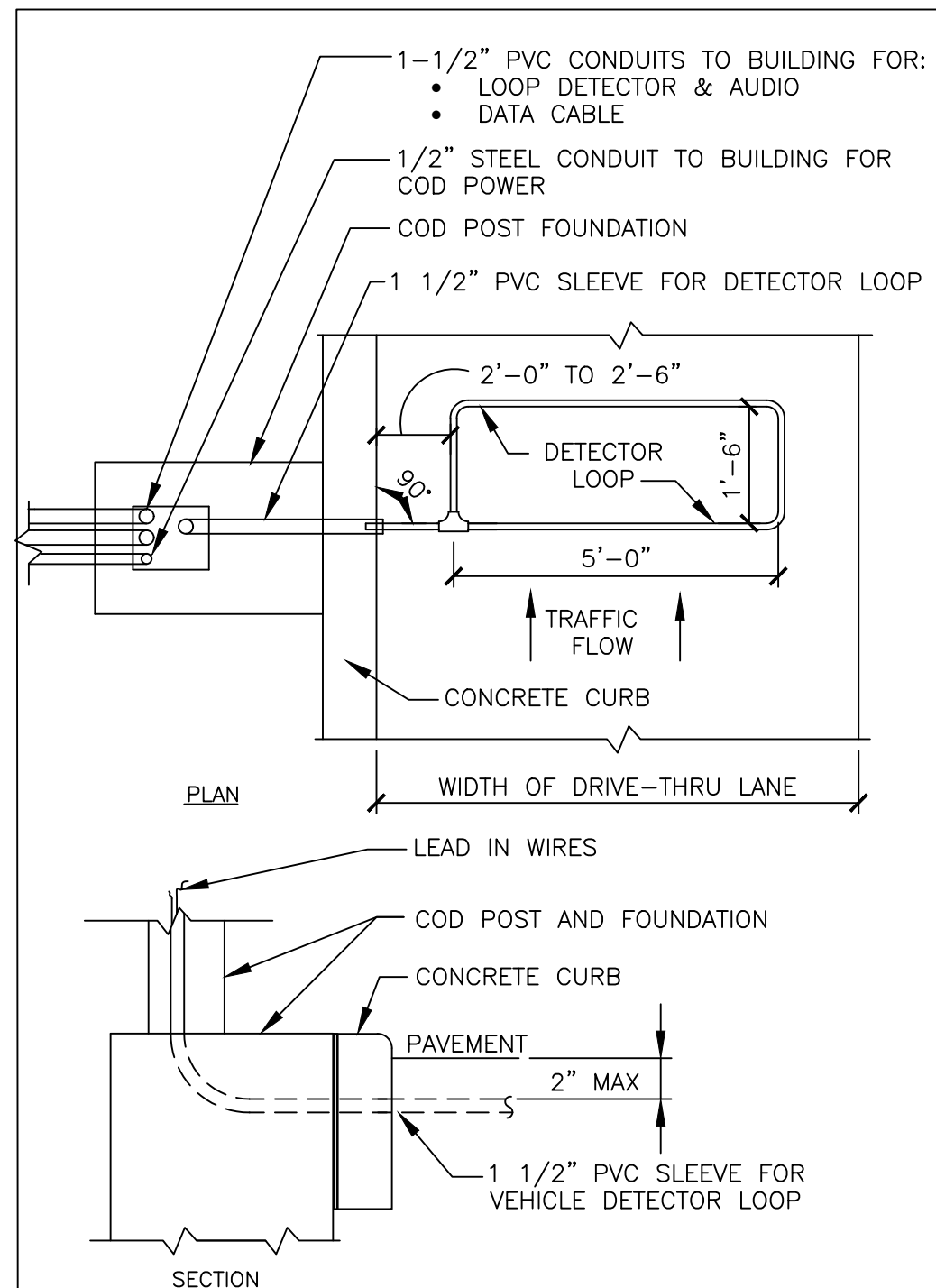
**NOTES**

1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
3. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
4. DETECTOR LOOP MANUFACTURERS: DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.  
SM: 1-800-328-0033  
HME: 1-800-848-4468
5. DETECTOR LOOP MATERIAL: PVC TUBING 1/2" I.D. 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
6. DETECTOR LOOP CONSTRUCTION: FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.

2 DETECTOR LOOP DETAILS  
C9 NOT TO SCALE

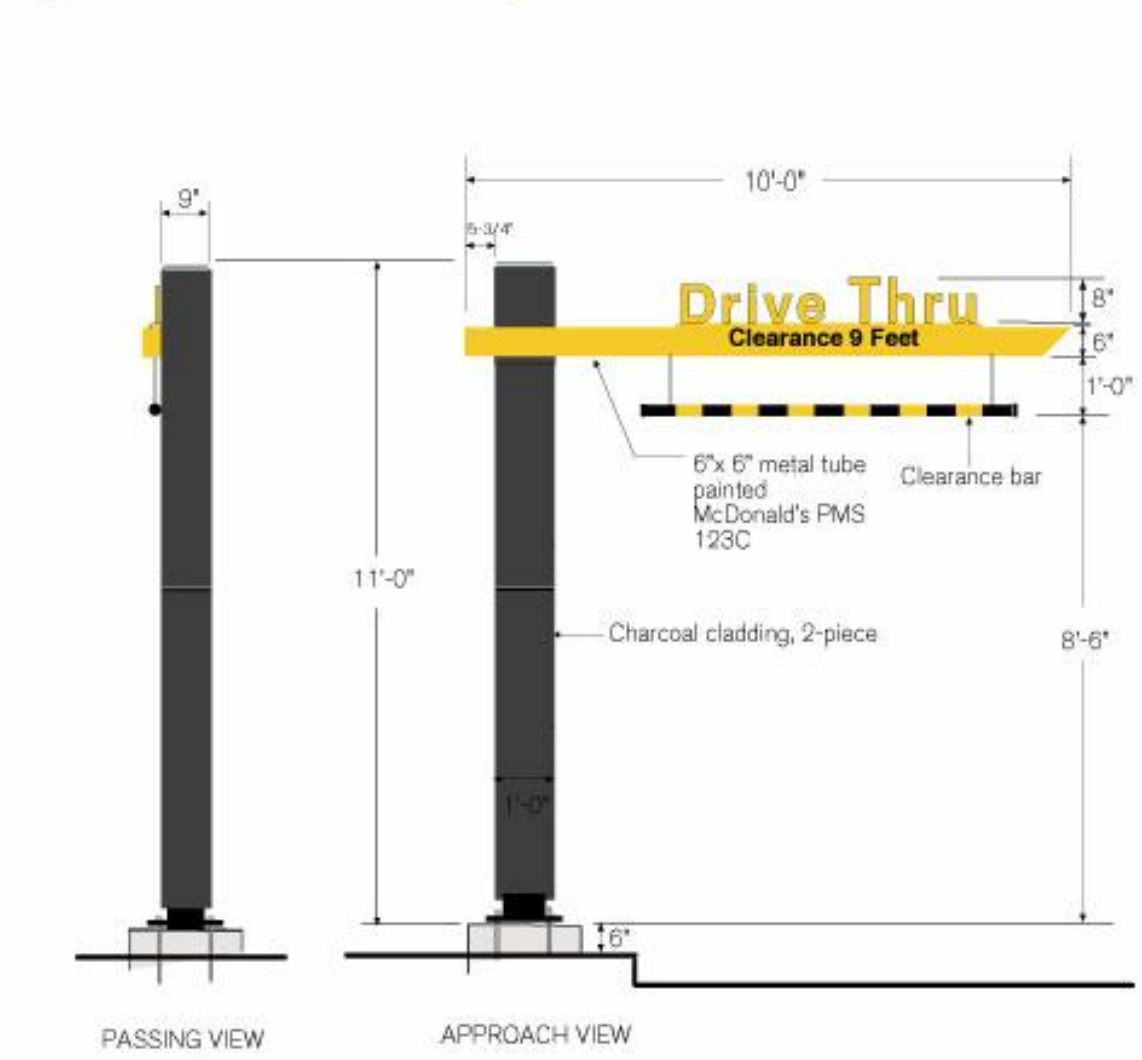


4 DT WINDOW DETECTOR LOOP  
C9 NOT TO SCALE



3 C.O.D. DETECTOR LOOP  
C9 NOT TO SCALE

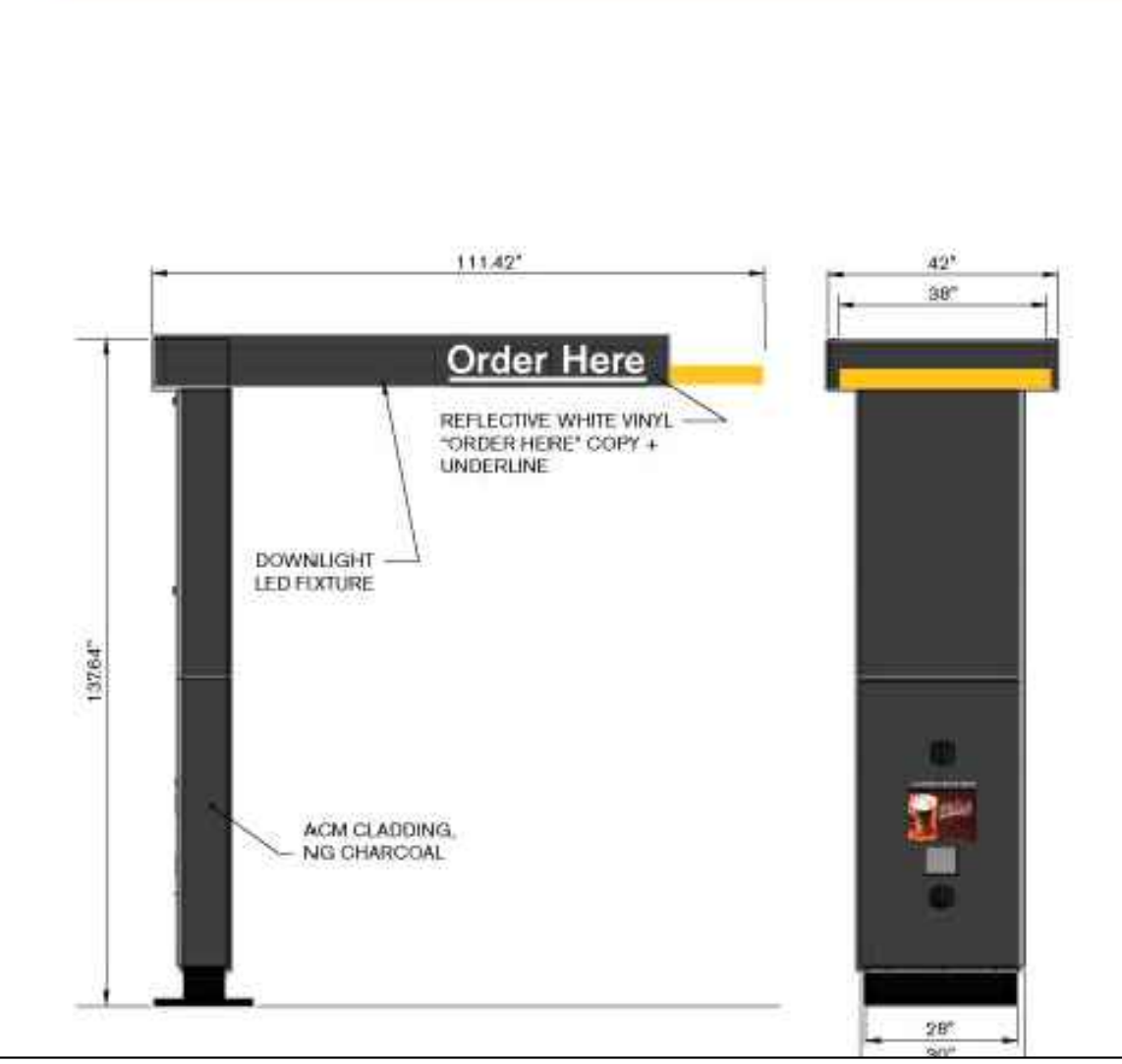
**Welcome Point Gateway - Charcoal 2PC**



- Illumination: N/A
- Ship Weight: 790 lbs.
- Other:
  - Non-illuminated clearance sign with spring loaded break away clearance arm.
  - Adjustable bang bar.

5 WELCOME POINT GATEWAY  
C9 NOT TO SCALE

**Springboard Canopy /COD**

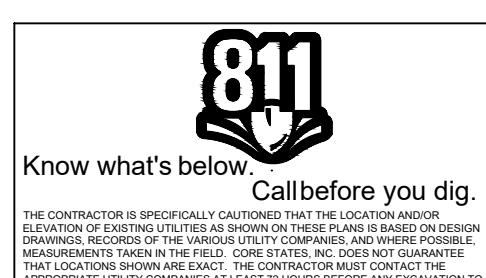


- Illumination:
- Electrical:
- Ballast:
- Ship Weight:
- Other:

6 SPRINGBOARD CANOPY W/ COD  
C9 NOT TO SCALE

NOTE: CORESTATES, INC. DID NOT PROVIDE SUCH DETAILS LABELED WITH AN 'M' AND SHALL BE HELD HARMLESS FROM CONSTRUCTION ISSUES RESULTING FROM ERRORS AND OMISSIONS FROM SUCH DETAILS.

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SHEET NO.	TITLE	SITE ADDRESS	SITE ID	CSG PROJECT #	DATE	DESCRIPTION	BY
					REV		
C9	SITE IMPROVEMENTS	8152 JOHN MOSSEY HIGHWAY, BOYCE, VA 22620	045-0526	MCD-23371			
	SHEET						
	CONSTRUCTION DETAILS						

**CORE STATES GROUP**  
12700 HILLCREST ROAD, SUITE 192  
PHOENIX, AZ 85027  
PH: (602) 998-4400  
E: info@core-eng.com

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