

Clarke County

HISTORIC PRESERVATION COMMISSION

AGENDA

Wednesday - 2024 May 15 - 11:00 a.m.*

Blandy Experimental Farm*

Library Room

400 Blandy Farm Lane

Boyce, VA 22620



1. Call to Order
2. Approval of Agenda
3. Approval of minutes for April 3, 2024
[Attachment]
4. Public Comments (other than Public Hearing)
5. Public Hearing:
 - Certificate of Appropriateness (CA-24-02) – Livery Stable Building, White Post, VA
[Attachment]
6. Report Executive Committee
7. Staff Reports
8. Historic Consultant's Report
9. CLG/other Grant projects
 - CLG Grant Application - Historic District Guidelines
10. Old Business
 - John Underwood Historic Marker Update
11. New Business
12. Commissioner Comments
13. Adjournment**

* Please note the special meeting location and time for the May 15th meeting.

** After adjournment the HPC is scheduled to hold the 2024 Awards Luncheon, beginning at 12PM (noon).

**Town/County Government Center
101 Chalmers Court
Berryville, VA 22611**

**www.clarkecounty.gov
540-955-5132**



Historic Preservation Commission

DRAFT MINUTES – Regular Meeting / Organizational Meeting
 Wednesday, April 3, 2024 – 4:00PM
 Berryville/Clarke County Government Center

| ATTENDANCE: | | | |
|--------------------------|---|---------------------------|---|
| Katherine Berger (Chair) | ✓ | Billy Thompson | ✓ |
| Page Carter (Vice-Chair) | X | David Weiss (BOS Liaison) | ✓ |
| Betsy Arnett | ✓ | Robin York | ✓ |
| Bob Glover (PC) | X | Deborah Liggins | ✓ |

Staff: Jeremy Camp (Sr Planner / Zoning Administrator) and Maral Kalbian (County Architectural Historian)

Other: Cathy Kuehner (Director of Public Information) and Warren Elsea (Applicant)

Call to Order: Chairman Berger called the meeting to order at 4:00PM.

Approval of Agenda – April 3, 2024

The Commission unanimously voted to approve the April 3, 2024 agenda as presented by Staff.

| Motion to approve the Historic Preservation Commission agenda for April 3, 2024 as presented by Staff: | | | |
|--|----------------|----------|-------------|
| Berger (Chair) | AYE | Thompson | AYE |
| Carter (Vice-Chair) | AYE | York | AYE (moved) |
| Arnett | AYE (seconded) | Liggins | AYE |
| Glover | AYE | | |

Approval of Meeting Minutes – January 17, 2024

The Commission unanimously voted to approve the January 17, 2024 meeting minutes as presented by Staff.

| Motion to approve the Historic Preservation Commission meeting minutes for January 17, 2024 presented by Staff: | | | |
|---|----------------|----------|-------------|
| Berger (Chair) | AYE | Thompson | AYE |
| Carter (Vice-Chair) | AYE | York | AYE (moved) |
| Arnett | AYE (seconded) | Liggins | AYE |
| Glover | AYE | | |

Commissioner York and Chairman Berger introduced the newly appointed HPC member, Deborah “Dee Dee” Liggins to the HPC. Each Commissioner took turns introducing themselves and welcoming Ms. Liggins to the HPC.

Public Comments

None

Public Hearing – Certificate of Appropriateness (CA-24-01), 300 Berrys Ferry Road

Mr. Camp recognized the applicant for CA-24-01, Warren Elsea, who was present at the meeting. Mr. Camp proceeded with a report on the application. He described that the property is a contributing structure of the White Post Historic District, and was the only remaining 18th century log building in the district. Mr. Camp overviewed the details of the application. He indicated that the information submitted included interior renovations that were not subject to review by the HPC, but that the changes to the windows and



Historic Preservation Commission

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Wednesday, April 3, 2024 – 4:00PM

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associated siding and painting work did require review by the HPC and a certificate of appropriateness. Mr. Camp also discussed the review checklist provided by the Historic Consultant for the application. He concluded that both he and the consultant recommended approval.

Chairman Berger opened the public hearing. The applicant was the only person to speak at the public hearing. He stated that he was only doing modifications to the windows on the non-historic addition that was not visible from the street.

Ms. Kalbian stated that she made a site visit in February and could attest to the fact that the work was being done only to the addition that was not visible from the public street. She said the application was very thorough. Ms. Kalbian said that she had a question of one of the drawings in the application that didn't include dividing panels design for the windows. However, she recognized that the description in the application indicated that he would be using a 6-over-6 window panel design. Mr. Elsea confirmed that that was correct.

Hearing no other comments, chairman Berger moved to close the public hearing.

Approval of Meeting Minutes – January 17, 2024

The Commission unanimously voted to approve the January 17, 2024 meeting minutes as presented by Staff.

| Motion to approve Certificate of Appropriateness Application #CA-24-01, as submitted by the applicant and presented by Staff: | | | |
|--|--------------------|----------|-----------------------|
| Berger (Chair) | AYE | Thompson | AYE |
| Carter (Vice-Chair) | AYE | York | AYE |
| Arnett | AYE (moved) | Liggins | AYE (seconded) |
| Glover | AYE | | |

Report of the Executive Committee

None

Staff Reports

BZA Update: Mr. Camp provided an update on the White Post garage violation case. He stated that the owners were incurring fines currently based on the court order. He said that there was an offer made to the owners by the County to allow him to not pay the fees if he removed the building. Mr. York asked what the next steps would be if he doesn't do anything. Mr. Weiss stated that if the structure is removed then the County could remove the fines, but if the structure is not removed then the fees will not go away. He stated that there was a deadline on the offer to remove the fines. Liens on the property is also a possibility. It was discussed that the end goal at this point is to have the structure removed.

Other: None

Historic Consultant's Report

Ms. Kalbian briefly mentioned a few conversations she has had with citizens that have called in. This included discussion about the unknown old stone structure in the woods that she previously mentioned. Ms. Kalbian said that numerous archeologists in the state have been looking at it but they could not



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determine its origin or use. She also spoke with a citizen about the old mill near Clifton, which she helped provided him with what information she had about it. Ms. Kalbian also mentioned that she provided information to a realtor that called her inquiring about the African American cemetery behind David Boyce's house. She indicated that archeologist Bob Jolley may be visiting the site to obtain more information about it.

CLG/Other Grant Applications

Historic District Guidelines Update Project: Mr. Camp said that he was working on submitting a CLG application for the project to update the historic district guidelines as previously outlined by the HPC and submitted to the Board for the coming budget. In general, this included funding to secure a consultant to draft the guidelines and take them through the public input and review process. He said that the guidelines would be designed for digital use online with a high priority to design them so they are user-friendly. He was given direction by the County Administrator to submit the application and that he would be working on that this week for submission in advance of the application deadline next week. Mr. Weiss indicated that the funding was not approved in the budget but that they would consider it if the grant was awarded. Ms. Kalbian discussed that she wanted to make sure the product deliverables were clear in the grant application and that they were appropriate for the large amount of funds that are going to be requested. Commissioner Arnett emphasized that the work will still need to be bid out and if the cost is lower than the grant then the consultant would be paid less. She explained that this was discussed in a previous executive committee meeting. Chairman Berger suggested that Ms. Kalbian review the details of the application. Mr. Camp said he would provide Ms. Kalbian with the write-up he has so they could review it together before it was submitted.

Old Business

John C. Underwood Historic Marker: Ms. Kalbian said that she was in contact with DHR and they requested if the marker dedication could be held on June 19th because they are coming into the area for other matters on June 20th. The time was not determined yet she said. Chairman Berger asked to have this addressed by the next HPC meeting since time is getting short.

New Business

Discussion of 2024 Preservation Awards (25th Anniversary): Mr. Camp provided a summary of the Awards Committee's recommendations. This included the recommendation to keep the event at a scale similar to past award luncheons. He said that they are looking to use Blandy Farm as the venue. The library space is reserved for May 15th, tentatively. He said the backup/alternative location is the Active Living Center at the park. That space is also tentatively reserved thanks to Lisa Cook, the County's Parks & Recreation Director. Blandy is the preferred location, but is pending confirmation on any fees that may or may not be required. Food service options are still being considered but would be catered or box lunches picked up from another location and brought to the site. Members discussed that the food needed to include a vegetarian option. Jordan Springs Market, Panera, Heavenly Ham, or a local caterer were offered as suggestions. Ms. Kalbian stated that this year's award winners recommended by the committee included the Gallagher/Perez property at 116-118 S. Church Street for a Merit Award; the Middletons for a Stewardship Award related to Woodley Farm; Mr. Ohrstrom for a Lifetime Achievement Award; and the Gallagher/Williams property for a Merit award for Spout Run.



Historic Preservation Commission

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Approval of the Award Committee Recommendations for 2024 Awards

The Commission unanimously voted to approve the Award Committee's recommendations.

| Motion to approve the Award Committee's recommendations regarding the 2024 Awards | | | |
|--|-----------------------|----------|------------|
| Berger (Chair) | AYE (moved) | Thompson | AYE |
| Carter (Vice-Chair) | AYE | York | AYE |
| Arnett | AYE (seconded) | Liggins | AYE |
| Glover | AYE | | |

Mr. Camp said that there were other projects that were discussed and evaluated by the committee, but these were projects that were not yet complete. Ms. Kalbian added that they were slated for consideration in 2025.

Ms. Kuehner followed with discussion of public outreach planned for the 2024 awards which fall on the 25th anniversary of the program this year. She discussed plans to draft and publish a press release, as typically done each year for the awards. She said she would be doing extra outreach this year due to the 25th Anniversary and recognition of May as Historic Preservation Month. She said she would expand this by doing a feature in the Clarke Monthly in the May and June issues. She would also do facebook posts. It was said that the County's facebook page is closing in on 10,000 followers. She also mentioned checking with the Historical Association to see if the HPC could be incorporated into their trivia nights which are typically held in the month of May. The Clarke newsletter would also be used. Chairman Berger emphasized that the information we post needs to be engaging enough that it will be interesting and get the attention of the readers. Ms. Kuehner discussed how she would definitely do that with what she publishes. Mr. Weiss asked for an example that would address Chairman Berger's point. Ms. Kuehner she will have to think about it, but could draft some ideas and review them with Chairman Berger. Commissioner York said that posts tied to childhood memories often get attention. He mentioned a recent post he received about the Academy School that did that and there were approximately 90 comments under it. Chairman Berger said that is just what she is talking about. Ms. Kuehner said she had access to old newspapers going back to 1869 and she would do some research and come up with some interesting ideas. Mr. Camp said that there will be another Awards Committee scheduled soon and the group can review these ideas further then.

Adjournment

There being no further items to discuss, the Historic Preservation Commission unanimously adjourned at approximately 4:50PM.

Katherine Berger, Chair

Jeremy Camp, Clerk



Clarke County Planning Department

101 Chalmers Court, Suite B

Berryville, Virginia 22611

(540) 955-5132

www.clarkecounty.gov

TO: Historic Preservation Commission (HPC)

FROM: Jeremy Camp, Senior Planner / Zoning Administrator

**RE: Certificate of Appropriateness (CA) Application
CA-24-02 (White Post Village Association)
Livery Stable Building - White Post Road**

DATE: May 15, 2024 HPC Meeting – Public Hearing

A public hearing is scheduled for the HPC business meeting on Wednesday, May 15, 2024 (11:00 AM). This meeting will be held at Blandy Experimental Farm prior to the 2024 Annual Awards Luncheon. The application is submitted by the White Post Village Association (owner/applicant) for the restoration of the Livery Stable Building in White Post. The application is attached with this memorandum.

The property is located on White Post Road between the old gas station (#221) and 213 White Post Road (See illustration on the following page). It is located at the center of the White Post Historic District and is within the Historic Overlay District. It is listed as a contributing structure to the historic district. Below are a couple write-ups related to the property from the historic district nomination form that is filed with the state and national historic registers.

21-66-5 Lot 34: wood frame (weatherboard); 1 story; gable roof (standing seam metal); 4 bays. Work shop. Vernacular. 1920s. Abandoned. This probable commercial structure, although abandoned, is compatible with the building materials and scale of surrounding architecture.

Although no business establishments exist in the district today, three early 20th-century abandoned commercial structures survive north of the white post on Battletown Road. The most significant of these is a stucco service station (lot #36) with a tall porte-cochere. Located at the northeast corner of the town intersection, it is a representative example of early 20th-century service stations. A smaller frame structure north of the service station (lot #34) was probably built as a separate commercial structure in the early 20th century. Across the road (lot #61) stands a concrete block abandoned store with a stepped gable front. The town post office, a small frame building built in 1913 (lot #56B), is south of the white post on Greenway Court Road. Although closed, the building remains an important reminder of the town's identity.

Pursuant to 6.2.5 of the Clarke County Zoning Ordinance, the HPC has the responsibility of reviewing major alterations within the Historic Overlay District and issuing approval of Certificates of Appropriateness when the proposed work satisfactorily meets the ordinances criteria. Section 6.2.5B-2 specifies that alterations that require a building permit, or the repair or replacement of windows or roofs are considered major alterations and require review by the full HPC and public hearing. A public hearing was advertised for the subject application for the scheduled meeting on

May 15th. Prior to action on this application the HPC should consider input from the public that may be received during the public hearing. A review checklist is attached from the County’s Historic Consultant pertaining to this application.

Property Location Aerial Map



Attachments: Application form and application attachments from the applicant, and a review checklist from the County’s Historic Consultant.

COA2-5850



Zoning Permit Application

General Information

Date: 3/29/2024 Tax Map ID#: 28A-A-34

Zoning District: White Post *CN* Lot Size: *less than acre*

Site Address: 215 White Post Road

Property Owner's Name: White Post Village Association

Property Owner's Mailing Address: P. O. Box 222 White Post, VA 22663

Applicant's Name: (if different)

Applicant's Mailing Address: (if different)

Phone: 540-336-6665 Email: info@whitepost.com

Proposal Description

Describe the proposed use and structures, then select the appropriate categories listed below.

--> The WPVA seeks permission to make repairs to deteriorating wooden structures, install a new roof, reengineer missing doorways, replace windows, repair sliding barn doors, rewire and

| | | | | | |
|-------------------------------------|----------------------------|-------------------------------------|-------------------------|-------------------------------------|------------|
| <input type="checkbox"/> | New Single Family Dwelling | <input checked="" type="checkbox"/> | Change of Use | <input checked="" type="checkbox"/> | Electric |
| <input type="checkbox"/> | Garage, Attached | <input checked="" type="checkbox"/> | Remodel | <input type="checkbox"/> | Plumbing |
| <input type="checkbox"/> | Garage, Detached | <input type="checkbox"/> | Deck with Roof | <input type="checkbox"/> | Bathroom |
| <input type="checkbox"/> | Addition, Heated | <input type="checkbox"/> | Deck without Roof | <input type="checkbox"/> | Kitchen |
| <input type="checkbox"/> | Addition, Unheated | <input type="checkbox"/> | Agricultural (add form) | <input type="checkbox"/> | Bedroom(s) |
| <input type="checkbox"/> | Storage Shed | <input type="checkbox"/> | Pool, above-ground | | |
| <input checked="" type="checkbox"/> | Other: RESTORATION/REPAIR | <input type="checkbox"/> | Pool, in-ground | | |

Proposed Setbacks & Height

Complete all applicable blocks for proposed project. Write N/A if not applicable.

| Measured to the closest point | Provided (Actual) (Distance in Feet) | Required (Ordinance) (Distance in Feet) |
|---|---|--|
| Front Property Line | 12'9" | |
| Side (Right) Property Line | 10'5" | |
| Side (Left) Property Line | 13'6" | |
| Rear | 9'1" | |
| Edge of Private Access Easement | N/A | |
| Springs/Sinkholes/Perennial Streams | N/A | 100 Feet |
| Intermittent Streams or Wetlands | N/A | Depends on District () |
| Maximum Height | 15' | |
| Maximum Impervious Surface | 640' | |
| Well & Septic Setback (See Clarke County Code Ch. 184) | N/A | 50 Feet from well - All Structures 100 Feet from well - Termite Treated 10 Feet from Septic - All Structures |



Zoning Permit Application (continued)

Additional Property Information

| | | | | |
|--|-----|---|----|---|
| Flood Plain District | Yes | | No | X |
| Historic District (provide Certificate of Appropriateness documentation if required) | Yes | ✓ | No | |
| Will blasting be used in the construction process? | Yes | | No | X |
| Conservation Easement (if Yes, provide documentation of approval) | Yes | | No | X |
| Conservation Easement Holder Name: | N/A | | | |
| Public Water | Yes | | No | X |
| Public Sewer | Yes | | No | X |
| Private Well (Contact utility for Information) | Yes | | No | X |
| Onsite Septic System (Contact Health Dept. for Information) | Yes | | No | X |

Site Sketch

A site sketch is required. The required site sketch must accurately show all existing lot features as well as the proposed structure(s) and/or use(s) with measurements provided to the closest points of ALL applicable items noted on Page 1 of this permit application. In addition to those items, measurements must also be provided to the septic tank, septic system, and any utility, drainage, or other easements. All required setbacks and information must be shown prior to approval. Survey plats may be found at the Clarke County Circuit Court. County GIS maps can be found at <https://mapsonline.net/clarkecounty>.



By checking here, and signing below, I attest that all Clarke County delinquent taxes and charges for the subject property are paid and up-to-date and that all information provided on this application is accurate.

William Hampton

Signature of Property Owner

3/29/24

Date

Office Use Only

ACTION TAKEN:

Approved

FEE:

\$500 (NO APPLICABLE)

DURs USED:

—

COMMENTS:

Zoning Administrator

Date

GIS Acct #

Clarke County Gover
TREASURERS OFFIC
101 Chalmers Ct
Berryville, VA 22
(540) 955-5160
Welcome

03/29/2024 02:31PM Register
006721-0002 000180684

PERMITS / INSPECTIONS

Cert Appriptnss
AOC/FOC/RES/NP - FEE
2024 Item: COA2-5850/C
Balance due: \$0.00
Balance unpaid: \$0.00

Subtotal
Total

CHECK
Check Number 1088

Change due

Paid by: WHITE POST VILLAGE

Thank you for your p

CUSTOMER COPY

CERTIFICATE OF APPROPRIATENESS APPLICATION

Applicant Information:

Owners: White Post Village Association (WPVA)

Address: P.O. Box 222

White Post, VA 22663

Job Site Address: 215 White Post Road (Livery Stable Building). Tax Map #28A-A-34

Contact Info: Billy Thompson, WPVA President 540-336-6665 (c) Email: info@whitepost.com

Statement of Purpose:

On March 31, 2017, the White Post Village Association (WPVA) was gifted two old structures in the center of the village by John C. Elsea, a kindly gentleman who traced his family roots in the village back to the 1780s. One of two donated structures built in the 1920s is commonly known as the Livery Stable Building. Note that the building never functioned as a livery stable, but at various times served the village as a workshop, a pool hall, and convenience store.

The WPVA wishes to continue renovating and rehabilitating this historic contributing commercial structure by restoring it back to its original 1920s appearance. To achieve this goal, the WPVA is submitting this updated application for a Certificate of Appropriateness.

Under a previously approved COA issued in May 2017, the WPVA was granted permission to remove a collapsing and blighted addition made of inferior building materials that did not match and/or conform with the pre-existing building materials of the original commercial structure.

As such, the WPVA is asking the Historic Preservation Commission for permission to continue making basic repairs to deteriorating wood structures, installing a new roof, reengineering missing doorways, replacing front, rear and left-side windows, repairing sliding barn doors, replacing broken outlets and light fixtures, and painting.

Summary Description of Work:

- Remove interior cinder-block chimney
- Install a new standing-seam metal roof with guttering and downspouts
- Reframe corner posts and deteriorating joist and studs
- Install internal 4-panel folding doors to seal interior front and rear bay door openings
- Cover exterior front and rear bay door openings with sliding barn doors
- Install internal 6-panel folding door on right side to seal interior side bay door opening
- Cover exterior right-side bay door opening with sliding barn doors
- Replace the six missing and/or badly deteriorating 12-pane single hung windows (1 front, 2 rear, and 3 left side)
- Remove and replace deteriorating wooden siding, fascia, overhangs, and trim
- Paint/stain exterior and interior structure
- Haul debris
- Install appropriate landscaping shrubs and details

CHECKLIST FOR CERTIFICATE OF APPROPRIATENESS

White Post and Millwood Historic Overlay Districts
Clarke County Historic Preservation Commission

1. HEIGHT, PROPORTION AND SCALE:

The WPVA is not proposing to make any height, proportion, or scale size changes to existing structure as part of the restoration and rehabilitative project.

2. BUILDING ORIENTATION AND SPACING

The proposed restorative and rehabilitative work will not change any of the factors related to the original structure's orientation, footprint, layout, spacing, or placement on the lot.

3. OPENING AND ENTRANCES:

The proposed rehabilitation work does not involve changing the number and location of window and door openings visible in the front, rear, and left side of the building. Openings created by the removal of the moth-balled plywood closures at the front and rear bay entrances will be covered on the exterior by wooden sliding barn doors. For weather and security purposes, the interior openings behind the exterior sliding barn doors will be sealed by a set of folding glass panel doors.

The proposed plan would, however, create a new right- side doorway opening fronting the large public area, open green space between it and the Historic White Post Sinclair Gas Station which would allow the re-purposed Livery Stable Building to serve as an open-air community pavilion. Note that the newly created right-side doorway opening would only be visible at times when the Livery Stable Building was in use; most other times it would be invisible to the front public right of way due to the closure of exterior sliding barn doors.

4. MATERIALS AND TEXTURE:

Deteriorating wood siding on the building and barn doors will be replaced with horizontal sliding (Hardi-plank or LP Smart siding) in the same texture and pattern consistent with the original commercial structure.

5. COLOR:

Although no specific paint color or stain has been selected, the WPVA proposes to paint and trim the building in colors consistent with the original commercial structure and other buildings in the village.

6. BUILDING DETAILS:

The architectural details including overhanging eaves, windows & doors will not be changing. The addition of a new right-side bay door opening to re-purpose the building will not be visible to the front public right of during non-use times. The WPVA project plan is to simply to replace the roof, repair deteriorating wooden items, reinstall doorway and window openings, and replace light socket and electrical fixtures.

7. ROOFS:

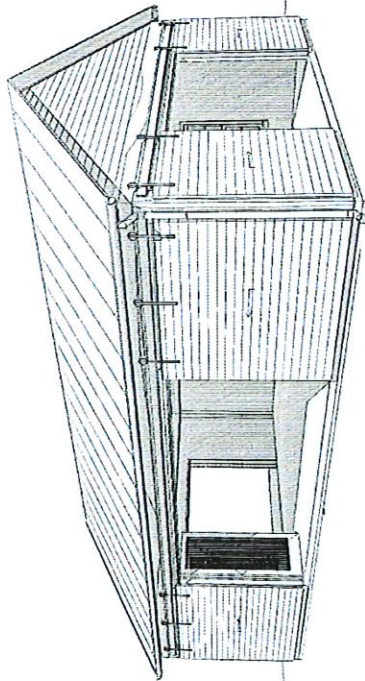
The WPVA renovation and rehabilitation plan does include replacing the gabled standing-seam metal roof with a new traditional standing-seam metal roof. The roof materials, shape, pitch, and orientation will be identical to the structure's original roof.

8. SITE DESIGN AND LANDSCAPE ELEMENTS:

Some fill and top soil maybe required to fill in depressions and/or improve the grading along the outside perimeter of the structure. Mulch and low-standing landscape plantings are proposed.

White Post Livery Stable

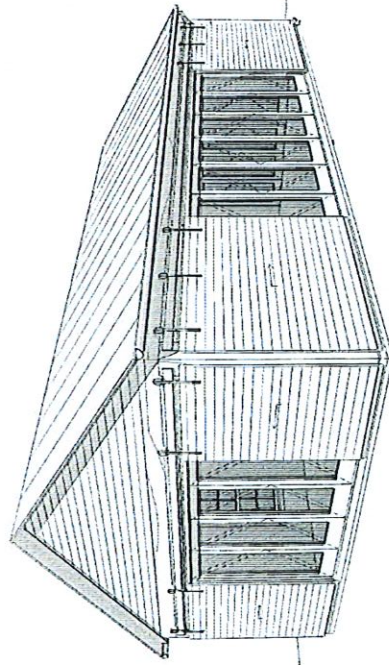
215 White Post Road
White Post, VA 22611



Exterior Perspective

NOT TO SCALE

1
G1.1



Exterior Perspective

NOT TO SCALE

2
G1.1

| SHEET INDEX | |
|-------------|-------------------------|
| ID | Name |
| G1.1 | General Information |
| A1.1 | First Floor Plan |
| A1.2 | Roof Plan |
| A2.1 | Front & Rear Elevations |
| A2.2 | Right Elevations |
| A2.3 | Left Elevation |

ABBREVIATIONS:

- A.S. - ARCHITECT'S SCALE
- A.S.D. - AMERICAN SURVEYING ACT
- A.7.1. - ANCHOR BOLT
- A.7.2. - ANCHOR BOLT
- B.L. - BUILDING LINE
- C.O. - CENTERLINE
- C.O.C. - CONCRETE
- C.O.D. - CONCRETE
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- D.90. - DIMENSION
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- D.98. - DIMENSION
- D.99. - DIMENSION
- D.100. - DIMENSION



3
G1.1

Site Plan
SCALE: 1" = 30'

NOT FOR CONSTRUCTION

SITE INFORMATION
ACCOUNT #: 5850
TAX MAP: 28A A 34
DEED BK/PG: 2007/3193
LOT SIZE: 0.45 acre
VOTE DIST: WHITE POST
ZONING: CN

General Information
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Livery Stable
908 White Post Road
White Post, VA 22611

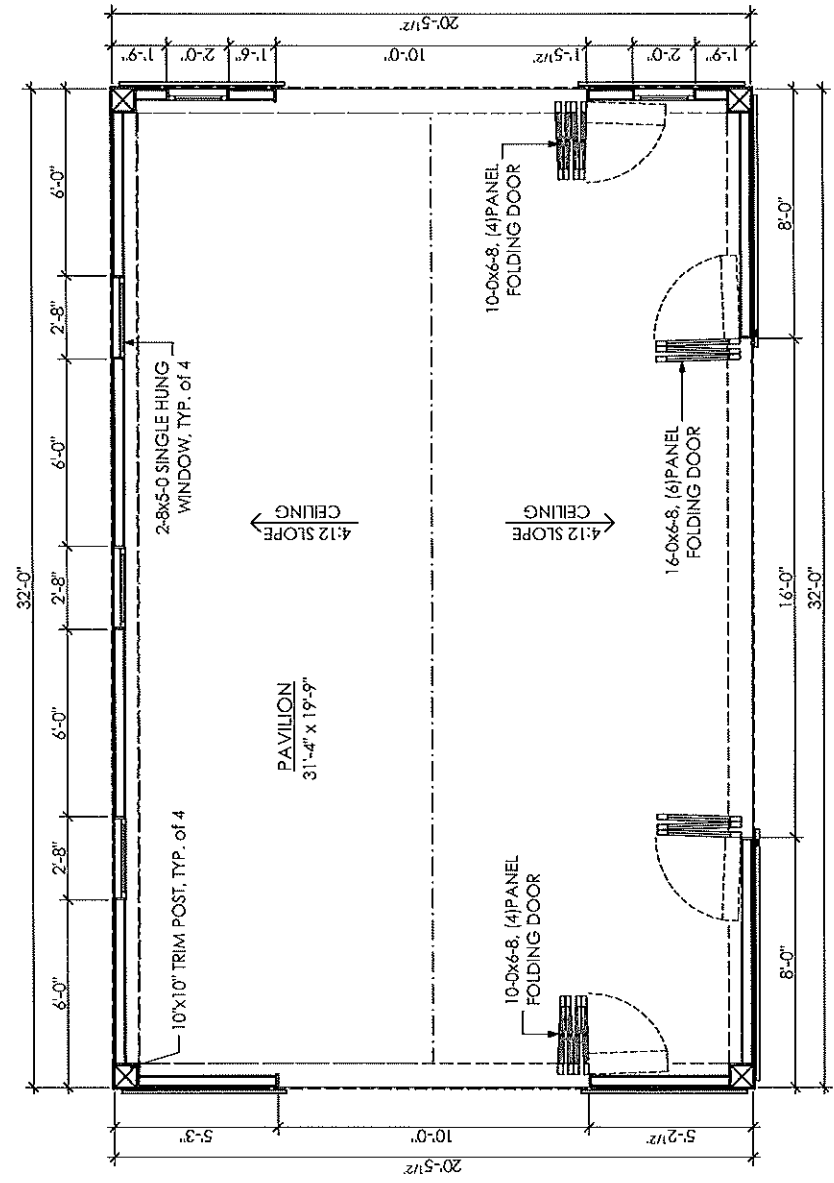
DO NOT SCALE DRAWINGS
Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and any variations from the dimensions and conditions.

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| PROJECT #: | 23042 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| DATE: | Dec. Dev. 1 10/30/2023 |

G1.1
SHEET 1 OF 6

| | |
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| PROJECT #: | 23.004 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| DATE: | 10/09/2023 |
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| | |

NOT FOR CONSTRUCTION



First Floor Plan
 SCALE: 1/4" = 1'-0"



JON NURGE ARCHITECTS, LLC
 405 Northampton Court
 Livery, VA, 22611
 www.jbaarchitects.com

Livery Stable
 215 White Post Road
 White Post, VA 22611

Roof Plan

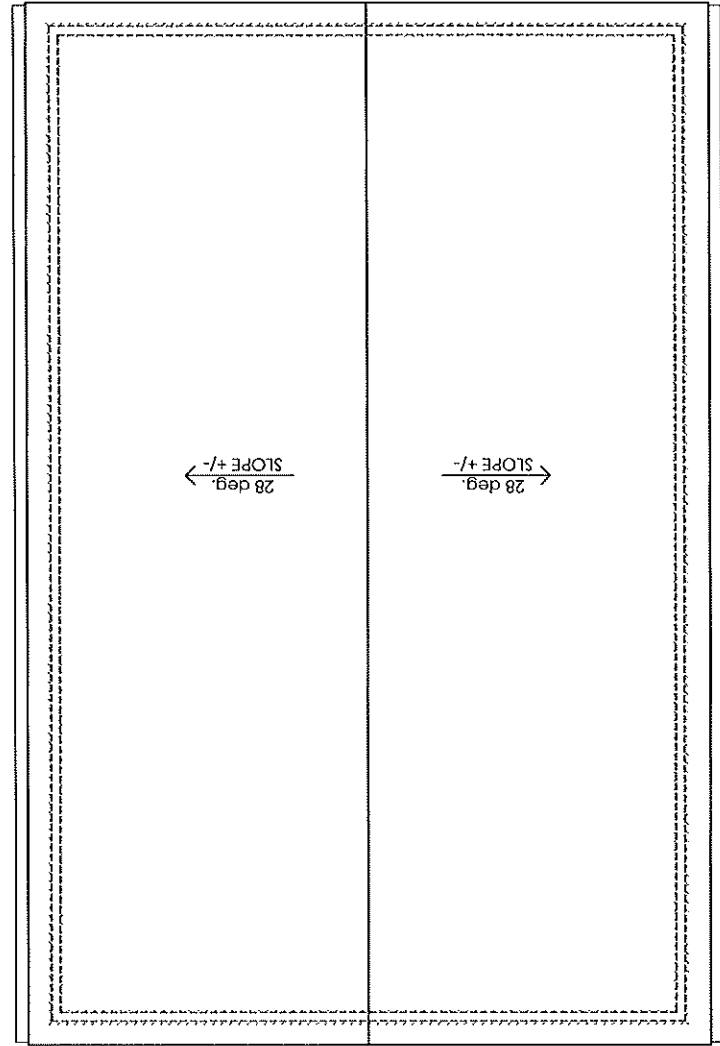
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DO NOT SCALE DRAWINGS
 Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions and shall be held responsible for any variations from the dimensions and conditions.

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| PROJECT #: | 23-042 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| PHASE: | Dev. Dev. 1 |
| DATE: | 10/30/2023 |
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A1.2
 SHEET 3 OF 6

NOT FOR CONSTRUCTION

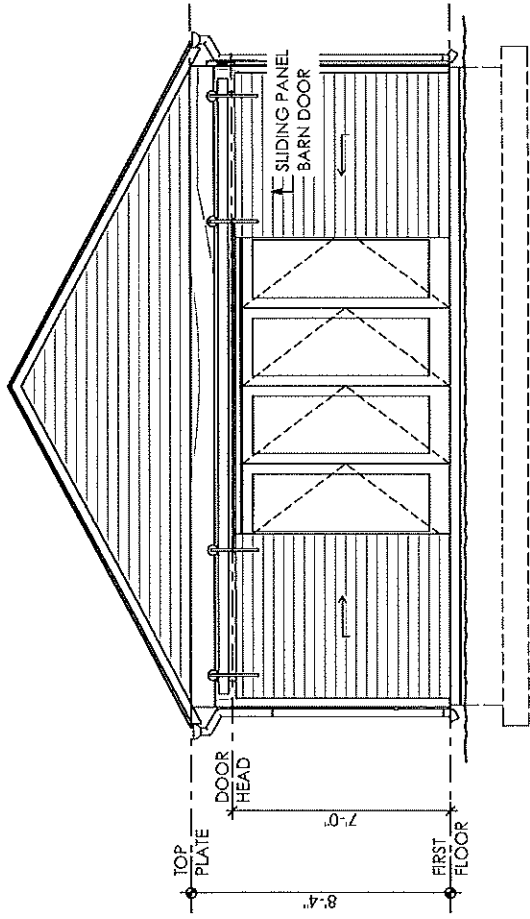


Roof Plan
 SCALE: 1/4" = 1'-0"

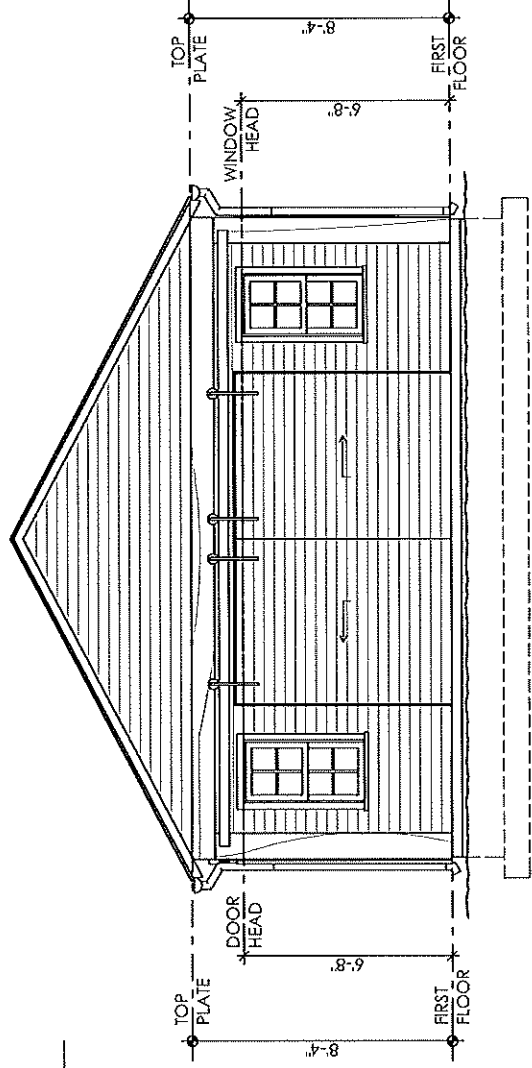


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| PROJECT #: | 23.042 |
| DRAWN BY: | JMB |
| CHECKED BY: | JMB |
| PHASE: | Doc. Dev. 1 |
| DATE: | 10/20/2023 |
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NOT FOR CONSTRUCTION



1
 A2.1
 Front Elevation
 SCALE: 1/4" = 1'-0"

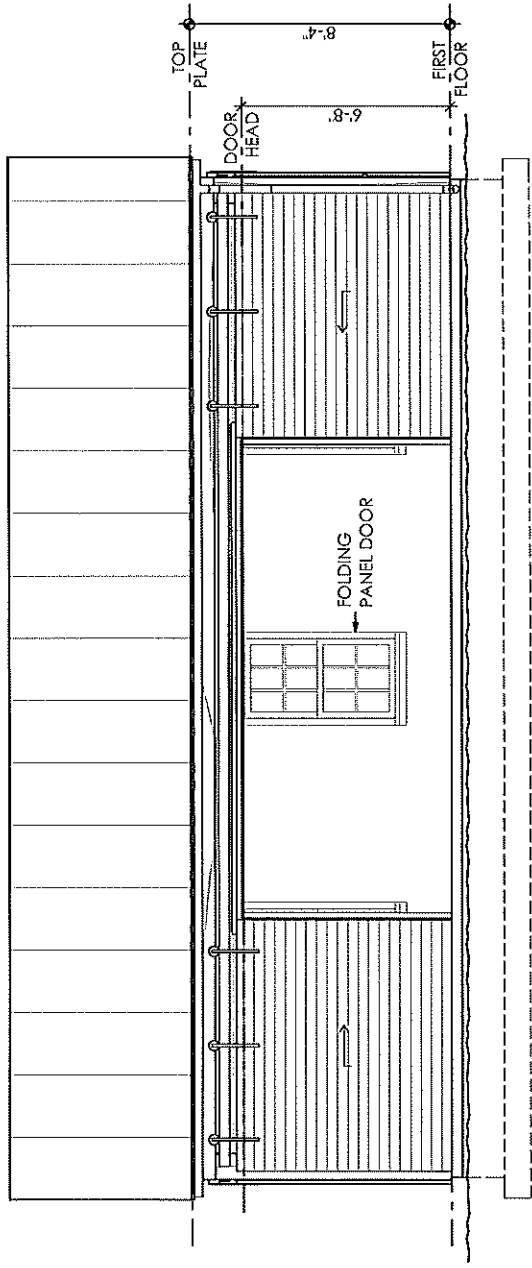


2
 A2.1
 Rear Elevation
 SCALE: 1/4" = 1'-0"

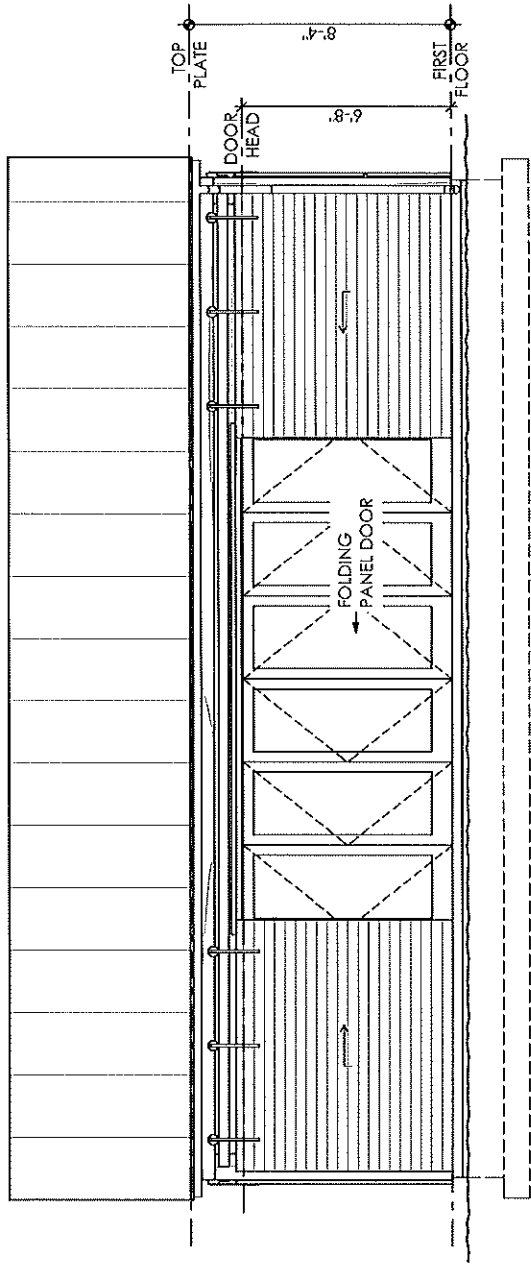
DO NOT SCALE DRAWINGS
 Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all conditions on the job and this office must be notified of any variations from the conditions and dimensions.

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| PROJECT #: | 72047 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| PHASE: | Est. Dev. 1 |
| DATE: | 10/20/2023 |
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NOT FOR CONSTRUCTION



1
 A2.2
 Right Elevation - Open
 SCALE: 1/4" = 1'-0"

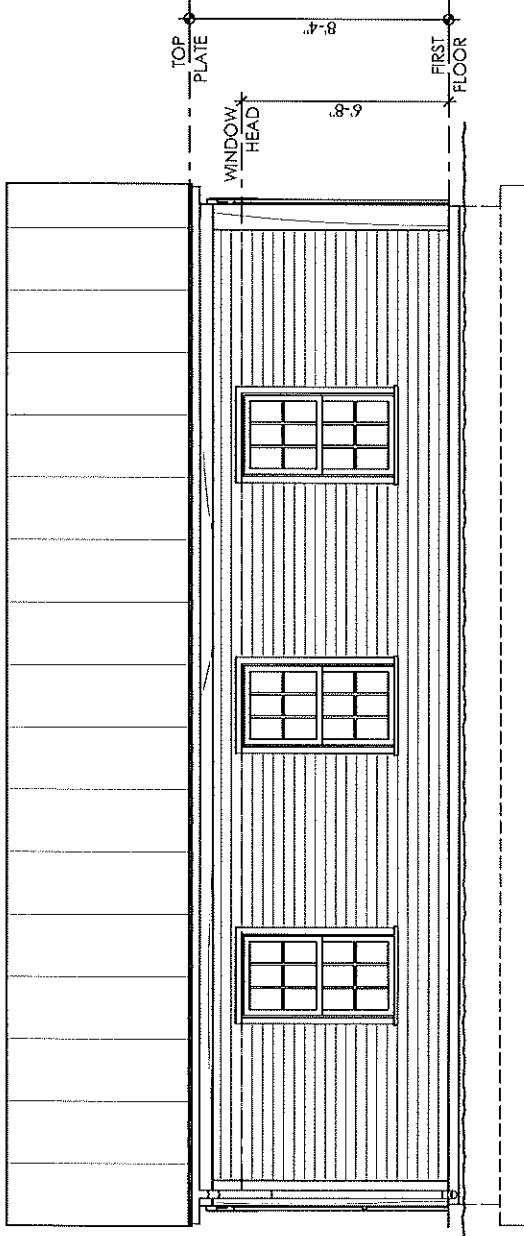


2
 A2.2
 Right Elevation - Closed
 SCALE: 1/4" = 1'-0"

DO NOT SCALE DRAWINGS
 Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any discrepancies in the dimensions and conditions.

| | |
|-------------|-------------|
| PROJECT #: | 23.002 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| PHASE: | Doc. Dev. 1 |
| DATE: | 10/30/2023 |
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NOT FOR CONSTRUCTION



Left Elevation

SCALE: 1/4" = 1'-0"

1
 A2.3













CERTIFICATE OF APPROPRIATENESS APPLICATION

Applicant Information:

Owners: White Post Village Association (WPVA)
Address: P.O. Box 222
White Post, VA 22663

Job Site Address: 215 White Post Road (Livery Stable Building). Tax Map #28A-A-34

Contact Info: Billy Thompson, WPVA President 540-336-6665 (c) Email: info@whitepost.com

Statement of Purpose:

On March 31, 2017, the White Post Village Association (WPVA) was gifted two old structures in the center of the village by John C. Elsea, a kindly gentleman who traced his family roots in the village back to the 1780s. One of two donated structures built in the 1920s is commonly known as the Livery Stable Building. Note that the building never functioned as a livery stable, but at various times served the village as a workshop, a pool hall, and convenience store.

The WPVA wishes to continue renovating and rehabilitating this historic contributing commercial structure by restoring it back to its original 1920s appearance. To achieve this goal, the WPVA is submitting this updated application for a Certificate of Appropriateness.

Under a previously approved COA issued in May 2017, the WPVA was granted permission to remove a collapsing and blighted addition made of inferior building materials that did not match and/or conform with the pre-existing building materials of the original commercial structure.

As such, the WPVA is asking the Historic Preservation Commission for permission to continue making basic repairs to deteriorating wood structures, installing a new roof, reengineering missing doorways, replacing front, rear and left-side windows, repairing sliding barn doors, replacing broken outlets and light fixtures, and painting.

Summary Description of Work:

- Remove interior cinder-block chimney
- Install a new standing-seam metal roof with guttering and downspouts
- Reframe corner posts and deteriorating joist and studs
- Install internal 4-panel folding doors to seal interior front and rear bay door openings
- Cover exterior front and rear bay door openings with sliding barn doors
- Install internal 6-panel folding door on right side to seal interior side bay door opening
- Cover exterior right-side bay door opening with sliding barn doors
- Replace the six missing and/or badly deteriorating 12-pane single hung windows (1 front, 2 rear, and 3 left side)
- Remove and replace deteriorating wooden siding, fascia, overhangs, and trim
- Paint/stain exterior and interior structure
- Haul debris
- Install appropriate landscaping shrubs and details

CHECKLIST FOR CERTIFICATE OF APPROPRIATENESS

White Post and Millwood Historic Overlay Districts
Clarke County Historic Preservation Commission

1. HEIGHT, PROPORTION AND SCALE:

The WPVA is not proposing to make any height, proportion, or scale size changes to existing structure as part of the restoration and rehabilitative project.

2. BUILDING ORIENTATION AND SPACING

The proposed restorative and rehabilitative work will not change any of the factors related to the original structure's orientation, footprint, layout, spacing, or placement on the lot.

3. OPENING AND ENTRANCES:

The proposed rehabilitation work does not involve changing the number and location of window and door openings visible in the front, rear, and left side of the building. Openings created by the removal of the moth-balled plywood closures at the front and rear bay entrances will be covered on the exterior by wooden sliding barn doors. For weather and security purposes, the interior openings behind the exterior sliding barn doors will be sealed by a set of folding glass panel doors.

The proposed plan would, however, create a new right- side doorway opening fronting the large public area, open green space between it and the Historic White Post Sinclair Gas Station which would allow the re-purposed Livery Stable Building to serve as an open-air community pavilion. Note that the newly created right-side doorway opening would only be visible at times when the Livery Stable Building was in use; most other times it would be invisible to the front public right of way due to the closure of exterior sliding barn doors.

4. MATERIALS AND TEXTURE:

Deteriorating wood siding on the building and barn doors will be replaced with horizontal sliding (Hardi-plank or LP Smart siding) in the same texture and pattern consistent with the original commercial structure.

5. COLOR:

Although no specific paint color or stain has been selected, the WPVA proposes to paint and trim the building in colors consistent with the original commercial structure and other buildings in the village.

6. BUILDING DETAILS:

The architectural details including overhanging eaves, windows & doors will not be changing. The addition of a new right-side bay door opening to re-purpose the building will not be visible to the front public right of during non-use times. The WPVA project plan is to simply to replace the roof, repair deteriorating wooden items, reinstall doorway and window openings, and replace light socket and electrical fixtures.

7. ROOFS:

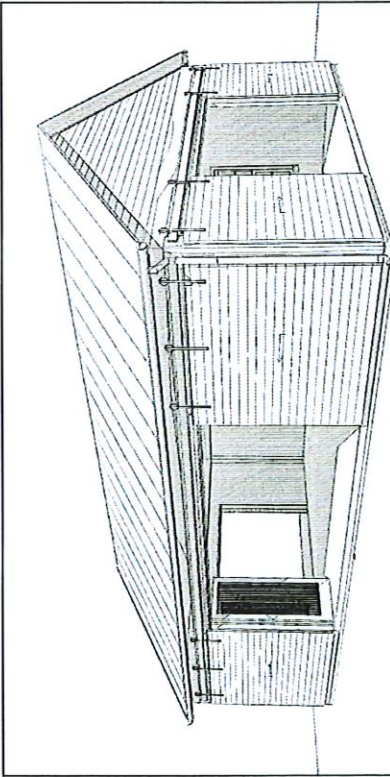
The WPVA renovation and rehabilitation plan does include replacing the gabled standing-seam metal roof with a new traditional standing-seam metal roof. The roof materials, shape, pitch, and orientation will be identical to the structure's original roof.

8. SITE DESIGN AND LANDSCAPE ELEMENTS:

Some fill and top soil maybe required to fill in depressions and/or improve the grading along the outside perimeter of the structure. Mulch and low-standing landscape plantings are proposed.

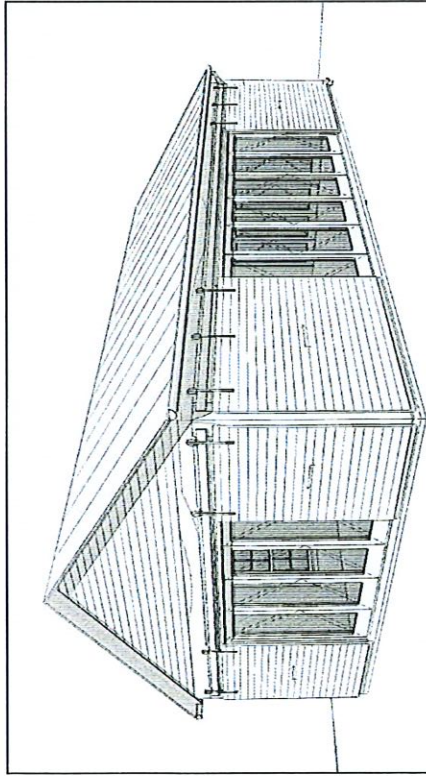
White Post Livery Stable

215 White Post Road
White Post, VA 22611



Exterior Perspective

NOT TO SCALE



Exterior Perspective

NOT TO SCALE



| SHEET INDEX | |
|-------------|-------------------------|
| ID | Name |
| G1.1 | General Information |
| A1.1 | First Floor Plan |
| A1.2 | Roof Plan |
| A2.1 | Front & Rear Elevations |
| A2.2 | Right Elevations |
| A2.3 | Left Elevation |

ABBREVIATIONS:

- AS - ASBESTOS (GLASS)
- ADA - AMERICAN WITH DISABILITIES ACT
- A-1 - AIR CONDITIONING
- A-2 - AIR CONDITIONING EQUIPMENT
- A-3 - AIR CONDITIONING UNIT
- A-4 - AIR CONDITIONING SYSTEM
- AL - ALUMINUM
- B-1 - BRICK
- B-2 - BRICK VENEER
- B-3 - BRICK PATTERN
- C-1 - CONCRETE
- C-2 - CONCRETE BLOCK
- C-3 - CONCRETE BOARD
- CD - CEMENT DENTURE
- CG - CEILING GRID
- CH - CHIMNEY
- CO - COPPER
- D-1 - DIMENSION
- D-2 - DIMENSION
- D-3 - DIMENSION
- D-4 - DIMENSION
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- D-97 - DIMENSION
- D-98 - DIMENSION
- D-99 - DIMENSION
- D-100 - DIMENSION



Site Plan
SCALE: 1" = 30'

SITE INFORMATION

ACCOUNT #: 5850
TAX MAP: 28A A 34
DEED BK/PG: 2007/3193
LOT SIZE: 0.45 acre
VOTE DIST: WHITE POST
ZONING: CN

NOT FOR CONSTRUCTION

General Information

Livery Stable
908 White Post Road
White Post, VA 22611

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DO NOT SCALE DRAWINGS

Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and for any variations from the dimensions and conditions.

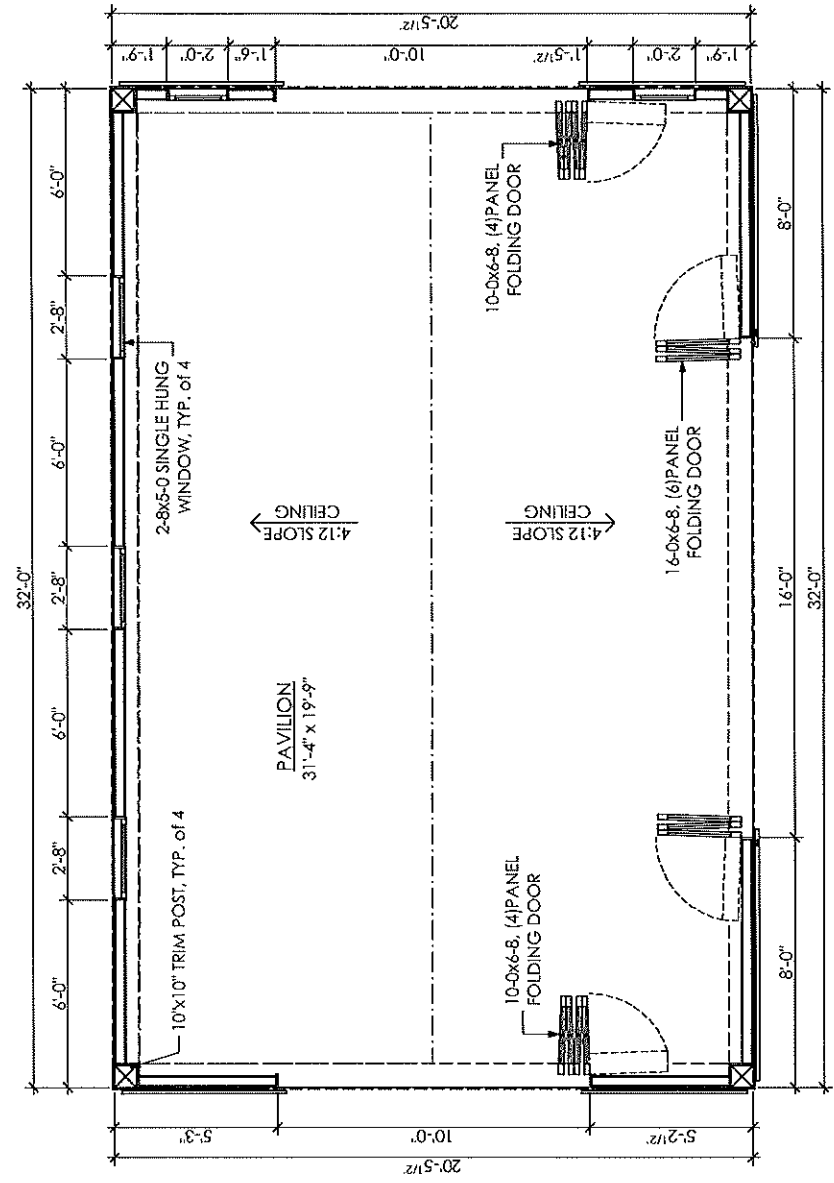
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| PROJECT #: | 23042 |
| DRAWN BY: | JMB |
| CHECKED BY: | JMB |
| PHASE: | Disc. Dev. 1 |
| DATE: | 10/30/2023 |

G1.1

DO NOT SCALE DRAWINGS
 Written dimensions on these drawings shall have precedence over scale dimensions. Contractor shall verify and be responsible for all dimensions and conditions and any variations from the drawings shall be noted on the drawings and conditions.

| | |
|-------------|--------------|
| PROJECT #: | 23.047 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| DATE: | 10/30/2023 |
| SCALE: | 1/4" = 1'-0" |

NOT FOR CONSTRUCTION



1
 A1.1
 First Floor Plan
 SCALE: 1/4" = 1'-0"



JON BUNGE ARCHITECTS, LLC
 474 Montpelier Court
 Leesville, VA 22811
 www.jbaarchitect.com

Livery Stable
 215 White Post Road
 White Post, VA 22611

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Roof Plan

DO NOT SCALE DRAWINGS

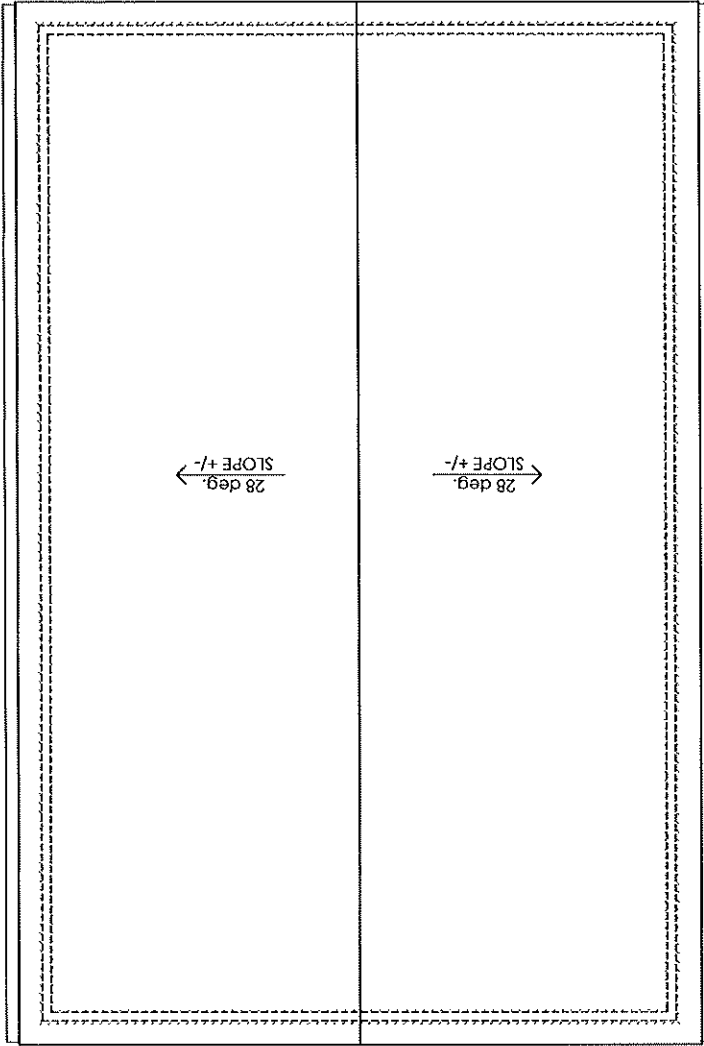
Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all conditions on the job and this office must be notified of any variations from the dimensions and conditions.

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| CHECKED BY: | JWB |
| PHASE: | Des. Draw. 1 |
| DATE: | 10/30/2023 |
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A1.2

SHEET 3 OF 6

NOT FOR CONSTRUCTION



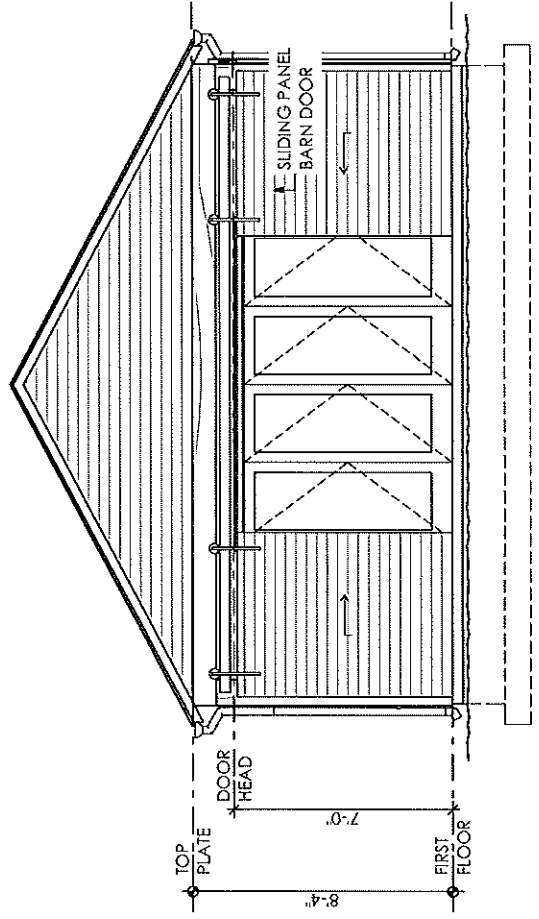
Roof Plan
 SCALE: 1/4" = 1'-0"



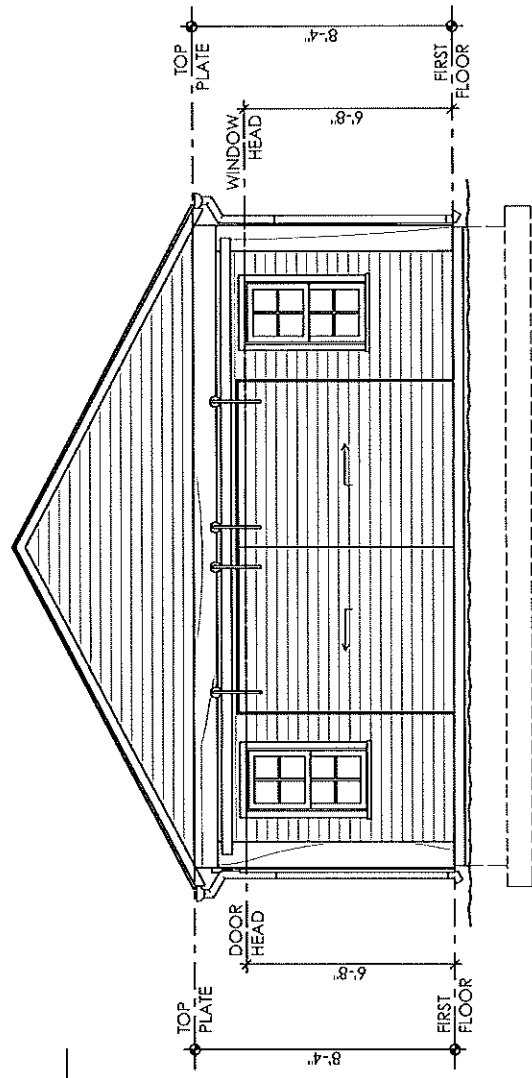
DO NOT SCALE DRAWINGS
 Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all measurements, take and this office must be notified of any variations from the dimensions and conditions.

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| PROJECT #: | 23 042 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| IN/ASE: | Det. Dev. I |
| DATE: | 10/20/2023 |
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NOT FOR CONSTRUCTION



1
 A2.1
 Front Elevation
 SCALE: 1/4" = 1'-0"

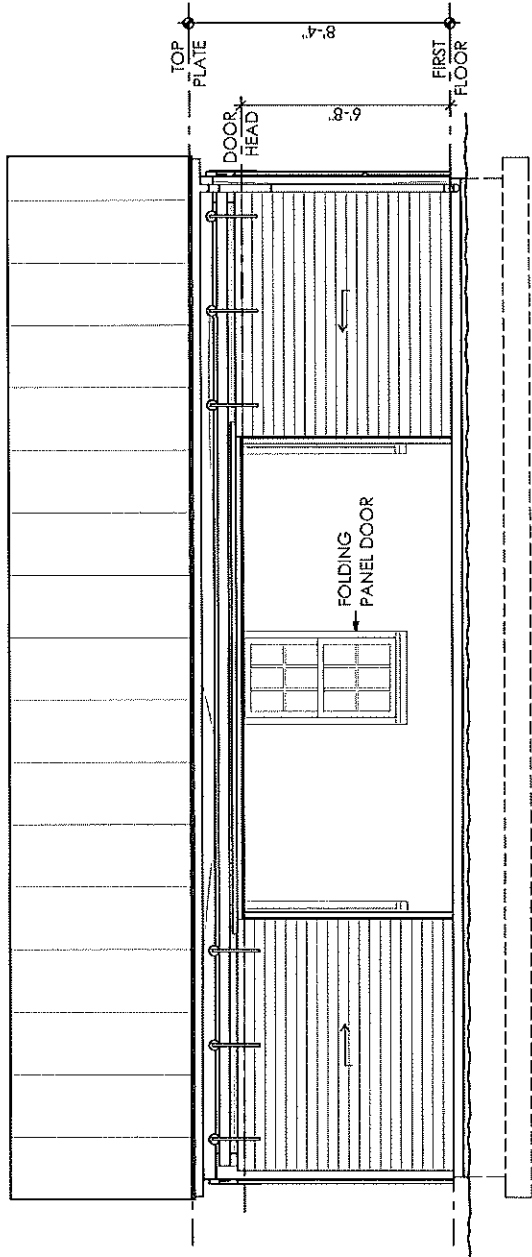


2
 A2.1
 Rear Elevation
 SCALE: 1/4" = 1'-0"

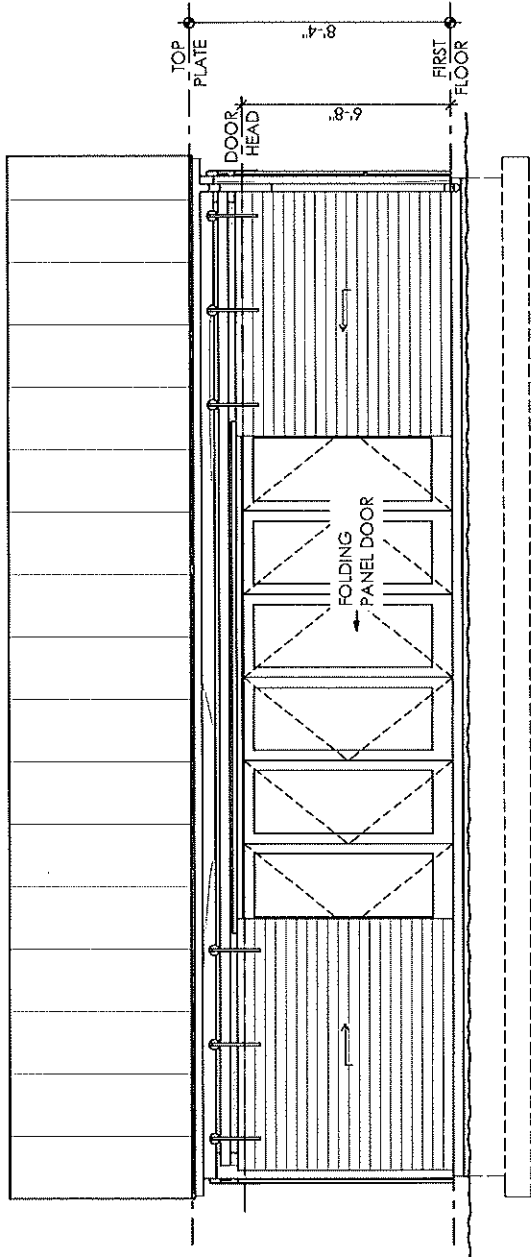
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| PROJECT #: | 23042 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| PHASE: | Dev. Dev. 1 |
| DATE: | 10/20/2023 |
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NOT FOR CONSTRUCTION



1
 A2.2
 Right Elevation - Open
 SCALE: 1/4" = 1'-0"

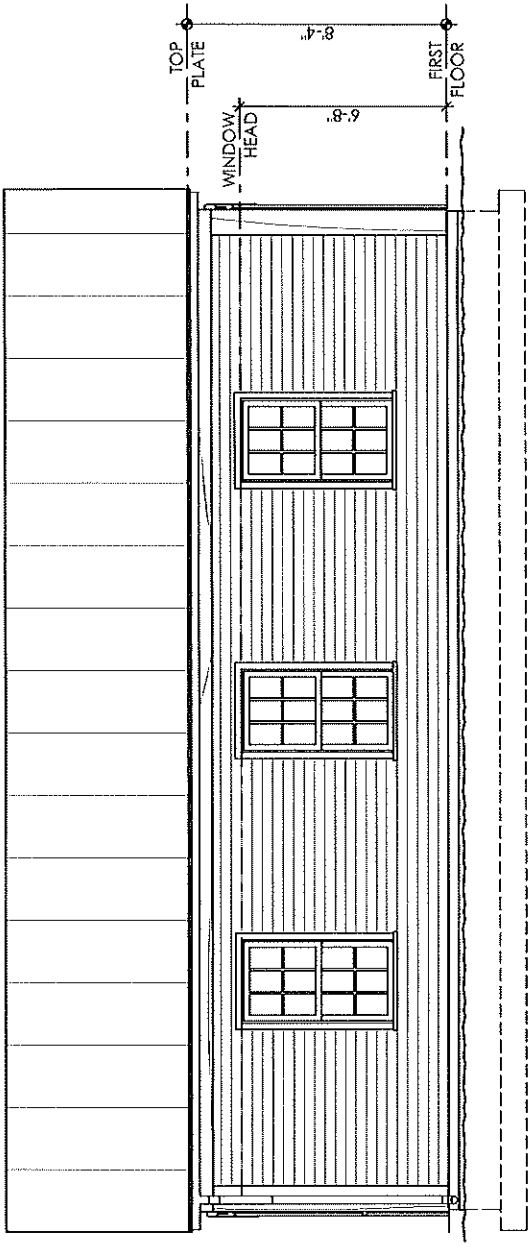


2
 A2.2
 Right Elevation - Closed
 SCALE: 1/4" = 1'-0"

DO NOT SCALE DRAWINGS
 Written dimensions on these drawings shall have precedence over scale dimensions. Contractors shall verify and be responsible for all dimensions and conditions. The architect and contractor shall be notified of any variations from the dimensions and conditions.

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| PROJECT #: | 23.042 |
| DRAWN BY: | JWB |
| CHECKED BY: | JWB |
| PHASE: | Dev. Dev. 1 |
| DATE: | 10/20/2023 |
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NOT FOR CONSTRUCTION



Left Elevation

SCALE: 1/4" = 1'-0"



CHECK LIST FOR CERTIFICATE OF APPROPRIATENESS

Clarke County Historic Preservation Commission, Alterations to 215 White Post Road, White Post

May 3, 2024

YES 1. HEIGHT, PROPORTION AND SCALE: The ratio of height-to-width and ratio of solid-to-void with the proposed alterations to the openings is in keeping with the dominant proportions of the building. This consideration is made when the barn doors are closed.

X 2. BUILDING ORIENTATION AND SPACING: Not applicable.

YES 3. OPENINGS AND ENTRANCES: The window at the front of the building is slated for removal. While it doesn't seem to be an original feature, no historic images exist that depict the original façade configuration. The proposed alterations include reopening closed openings, expanding the south-side opening, and installing folding glass panel doors behind sliding wooden barn doors. These changes will enable the building to function as a pavilion when necessary, all while preserving its architectural character.

NO 4. MATERIALS AND TEXTURE: The proposed replacement of the horizontal wood siding with Hardi plank or LP smart siding deviates from the historic materials typically found in the district. It is recommended that deteriorated siding and trim be repaired, and if replacement is necessary, the new materials should match the old in material, design, color, and texture. Introducing modern, inappropriate materials is generally not accepted within the historic district.

NO 5. COLOR: Color specifications are lacking for the siding, roof, and trim, and should be provided. The proposed predominant colors should mirror the existing predominant tones in the district. It is discouraged to use a natural stain, as it appears the building was previously painted.

YES 6. BUILDING DETAILS: The application states that the “architectural details, including overhanging eaves, windows, and doors, will not be changing,” which aligns with the guidelines, provided that these elements are constructed of wood rather than synthetic materials. The removal of the concrete block chimney is discouraged, as it contributes to the building’s historical narrative as a commercial building, indicating its original use for heating.

YES 7. ROOFS: The gabled standing-seam-metal roof will be replaced with a “traditional” standing-seam metal roof. This implies that there will be no ridge vent/cap, the pan widths will be similar to the current configuration, and snow cleats will be reinstalled.

YES 8. SITE DESIGN AND LANDSCAPE ELEMENTS: The application specifies that low areas will be filled in to enhance grading around the building, contributing to its preservation. Additionally, it proposes the use of mulch and low-standing landscape plantings. While no plan is provided, it is advisable to avoid foundation plantings or any landscaping that might suggest the building is a residence.

Approval of the Certificate of Appropriateness is recommended only if the siding, trim, doors, and windows are made of wood, rather than synthetic or concrete-based materials. Furthermore, consideration should be given to retaining the chimney, as it is a character-defining feature of the building.

Respectfully submitted,



Maral S. Kalbian, Architectural Historian